



FOREST RIDGE ARCHITECTURAL DESIGN REVIEW BOARD

DESIGN AND DEVELOPMENT STANDARDS

Revised and Updated 9/26/19

DESIGN AND DEVELOPMENT STANDARDS

CONTENTS:	PAGE
Introduction:	6, 7 & 8
Application Form & Cover letter (Instructions).....	3, 4 & 5
 APPROVAL CRITERIA:	
Additional Provisions	28, 29 & 30
• Awnings	
• Basketball hoops/stands (Portable & Permanent)	
• Boat Docks and Boat Ramps	
• Children’s Play Equipment	
• Concrete Buttons, Concrete Pyramid Cones, Stones, Rocks or other obstructions	
• Dumpsters (and like containers)	
• Exterior Antennae, Aerials, Solar Collector Panels and all Radio Transmission Equipment	
• Garage Door Roll Up (in casing) Screening	
• Garbage Containers and Recycle Bins	
• House Numbers display	
• Holiday Decorations	
• Mailbox Stands	
• NO clothes lines or hanging rack	
• “Pods” (and like) storage containers	
• Prohibited Structures	
• Sand filled boxes or play areas	
• Signs	
• Storage Units	
• Window coverings	
 Driveways	 26 & 27
Exterior Repaint	21
Fences	18, 19, & 20
Flags/Flag Poles (displays).....	22
Front and Garage Doors.....	23
Gutters and Downspouts	22
Generators and Fuel Tanks	34
Lake Property/ Shoreline Restorations	33
Landscaping, Water fountains/features and Hedges	10, 11 & 12
Patios and Screen Enclosures	15 & 16
Pools and Spas	9
Roofs & Roof Tiles.....	13, 14 & 35-50
Room Enclosures, Additions and Porches.....	17
Satellite Dishes.....	32
Shoreline Restorations.....	33
Storm Shutters & other Approved Hurricane Protection.....	24 & 25
Vehicles	31

One of the responsibilities of the Association is the enhancement of the property values through preservation of the architectural integrity of the overall design of the community.

The architectural character of the community was established by the architects who originally designed it and an Architectural Review Board has been established to set standards to achieve this goal. The standards are not intended to stifle the imagination or creative desires of the residents of the community but rather to assure them that protective restrictions are in effect which will help maintain the appearance of the over all community and, thereby, the value of your property. It is suggested that Residents retain, in your records, all valuable documents including Approval Letters for ARB applications.

WHAT NEEDS APPROVAL?

“No building, wall, fence, decorative feature, or other structure or improvement of any nature (including landscaping) shall be erected, placed or altered on any lot until the construction plans and specifications and a plan showing the location of the structure and /or landscaping, as may be required by the Architectural Review Board. Each home, walk, fence, structure or improvement of any nature, together with the landscaping shall be erected, placed or altered upon the premises only in accordance with the plans and specifications, color, and plot so approved.”

DISCLAIMER: These guidelines are subject to regular change at the discretion of the ARCHITECTURAL REVIEW BOARD. Please make sure you have the most current copy. Forest Ridge and the sub associations adhere to all Town of Davie codes. Please review those codes to ensure the success of your ARB application.

For specific details, refer to the Declaration of Restrictions and Protective Covenants under the Architectural Control Section: Ref to [http://www.fsrsouth.fsrconnect.com/your community name](http://www.fsrsouth.fsrconnect.com/your_community_name) to review complete guidelines and download ARB form. Contact property manager for assistance.

APPLICATION PROCEDURE & INSTRUCTIONS:

1. Fill out and sign the attached application form. Attach a copy of your plans, a copy of the final survey (showing proposed addition (s) or amendments) photo's, all pertinent details and proposal letter to your application.
2. ***Incomplete applications will not be accepted in the office for processing. They will be returned to owner for more details. Processing starts when a Complete ARB is received. To save time, please send the ARB applications for modifications being done by a contractor, with the following REQUIRED documents: (note: not all modifications are listed, refer to the Guidelines for the more.)***

A. POOL/DECKS/PATIOS/ETC:

- 1) **SCOPE OF WORK/CONTRACT** (no figures needed)
- 2) **Lot Survey** indicating distances to lot lines, etc.
- 3) Diagrams, **measurements**, all details
- 4) Copy of proof of current License
- 5) Copy of proof of current Insurance: with Resident's name, Sub Association name, & FRMHOA listed in the Certificate holders box.
- 6) If going into the Lake Maintenance Easement, must attach the pre-approval of the Central Broward Water Management District

B. AWNINGS/HURRICANE SHUTTERS/IMPACT WINDOWS & DOORS/GARAGE DOORS, etc.:

- 1) ***All of the above and indicate on drawing/lot survey, where the windows & doors are located to be done. (contractor can provide)***

CONTINUED FROM PAGE 3....

C. ROOFS:

- 1) **All of the above A. 1,3,4,5**
- 2) color photo of tile /with description

D. FENCES & GATES:

- 1) **All of the above A. 1-6**

E. DRIVEWAYS & WALKWAYS:

- 1) **All of the above A. 1-5**

F. LANDSCAPING & Trees:

- 1) **All of the above A. 1-6**
- 2) If removing a Tree, you must attach the pre-approval of the Town of Davie Arborist
- 3) *Photo's of the plants if available*

G. REPAINT/NEW PAINT:

- 1) **1, 4, & 5 of above A.**
- 2) **(ORIGINAL/ACTUAL) Color Swatches/PAINT SAMPLES** - *Select from Sub Assoc. Approved-new/ current/ old colors and list the Scheme #'s.. (Specify Base, doors (Garage & other), and trim/accent colors). **NO ELECTRONIC SUBMISSION (ACTUAL SWATCH ONLY)**.. they don't always transmit the true colors... we need the actual Swatch attached to the ARB application..*

3. **PLEASE NOTE:** If the Architectural Modification Request will be performed by **the homeowner**, a letter will be needed stating: **"Owner will take full responsibility for any damage that may occur."** And the letter signed by the homeowner, along with the complete items mentioned above. **(contractor information does not apply)**
4. **FOR ALL OTHER MODIFICATIONS NOT LISTED, REFER TO FOREST RIDGE ARCHITECTURAL DESIGN REVIEW BOARD DESIGN AND DEVELOPMENT STANDARDS.**
5. Mail, Hand deliver, E-Mail.... **ALL COMPLETE ARB REQUESTS (EXCEPT PAINT SWATCHES)** to:

OAK GROVE RESIDENTS: Submit complete ARB applications to:

Jay Jenkins, Property Manager
c/o Atlantis Management Services, LC
11011 Sheradon St.,#201,Cooper City, FL 33026
FRMHOA ARB 9/26/19

NO ORAL REQUESTS WILL BE CONSIDERED

6. **Please note:** All applications will be returned to the Forest Ridge Master Homeowners Association Architectural Review Board for final review, after being reviewed by your subdivision's Association ARB Committee.
7. ARB applications requiring heavy equipment, must show accessibility to the site. Any encroachment on a neighbors property or common area **MUST BE ANNOTATED.**
8. **FOR EMERGENCIES, SUCH AS ROOF LEAK, PLEASE INDICATE THE REASON IN A COVER LETTER ATTACHED TO ARB APPLICATION.**

REVIEW OF PLANS:

The detail of information contained in the application (height width, length, size, shape color, materials, location) assists the Board in it's review. The type of plants, flowers or any trees for landscaping modifications requests, must be submitted. **COLOR SWATCHES MUST BE SENT WITH ANY PAINT APPLICATIONS (NEW OR REPAINT OF EXISTING)**, and indicate color of base, trim, front door & garage door). **NO ELECTRONIC SUBMISSION (ACTUAL SWATCH ONLY)**. SAMPLE ROOF TILES & A COLOR PHOTO OF TILES, MUST ALSO ACCOMPANY ANY RE-ROOFING ARB APPLICATIONS. If modification request is Contracted, this must include **the Contractors: Scope of Work/Contract, proof of License and proof of Insurance to include YOUR NAME, SUB ASSOCIATION NAME, &/or FRMHOA, in the Certificate Holder Box on the bottom left of the Certificate of Liability.**

CONTINUED ON PAGE 5..

APPLICATION AND APPROVAL FORM

NAME: _____
ADDRESS: _____
PHONE: (H) _____ (W) _____ (C) _____
E-MAIL ADDRESS: _____

Incomplete applications will not be accepted in the office for processing, they will be returned to owner.

OWNER'S SUBMISSION CHECK LIST: The more complete your application is, the faster the review.

- Color Swatches (**ACTUAL**)/PAINT SAMPLES - **Select from Sub Assoc. Approved Schemes..**- new/ current/ old colors and list the Scheme #'s.. (**Specify: Base, doors (Garage & other), and trim/accnt**)
- ROOF TILE:** color photo from Sub Association Approved List of Roof Tiles (new or existing color)
- Property "lot" Survey / **COMPLETE** plans - **Scope of work/Contract** (no figures) /drawings /photos
- "Dial 811 before digging, it's the law"**
- Pre-approval from the Central Broward Water Management District (If Required, lake property)
- Pre-approval from the Town of Davie Engineering Department (if Required)
- Pre-approval from the Town of Davie Arborist for removal of trees (if Required)
- Approval letters from neighbors and letters of reason (where applicable).
- Homeowner's Signature and contact numbers.
- Proof of current Venders License (If using a contractor) **NO VENDER SIGNS PERMITTED!**
- Proof of current Venders Insurance (If a using contractor) to include **in the "Certificate Holder Box" on the bottom left: YOUR name, Sub Association name, AND Forest Ridge Master Homeowners Association or Property Management Company.**

All contractor vehicles (for East Side of Forest Ridge community areas) must enter/exit on Nova Dr. & Grove Dr.. NOT Pine Island Rd/. Forest Ridge Blvd.

SUBMISSION REQUEST: Please provide full details of your project/submit separate forms for each project.

Approval is hereby requested to make the following modifications, alterations or additions to my home or lot. In making this request, I hereby agree to repair any damage caused to common or limited common areas as a result of this work and will restore these areas to their original condition within two (2) weeks of completion:

OAK GROVE RESIDENTS: Submit complete ARB applications to: Jay Jenkins, Property Manager

c/o Atlantis Management Services, LC
11011 Sheradon St.,#201,Cooper City, FI 33026
FRMHOA ARB 9/26/19

***** Homeowner's Signature *****

Subdivision: _____ Lot: _____
DATE: _____ DATE RECEIVED: (Official Use Only) _____
Date first received at sub: _____ Application not completed, contact owner: _____

APPROVED: Subdivision Board _____
Forest Ridge Master _____

DENIED: Subdivision Board _____
Forest Ridge Master _____

Letter Comments: (ARB/HOA office use only) _____

INTRODUCTION:

In order to preserve the values and provide for the uniform appearance of Forest Ridge, the architectural review and control functions shall be administered and performed by the *Architectural Review Board*, here to, referred as, *“the Committee”* which shall be established as follows:

1. **The Committee:** The Committee shall consist of not less than three (3) nor more than seven (7) members designated by the Forest Ridge Master Homeowners Association, Inc.

2. **Committee Action:** A majority of the members of the *Architectural Review Board* may designate a member of *“the committee”*, to act for the committee, subject to its approval. Approval, disapproval or modification of the standards by a majority of the members of the Committee shall constitute the official approval or disapproval of the Committee.

3. No Improvements of any kind including, without limitation, any building, shed, play structure, wall, topographical feature, mailbox, landscaping, fence, swimming pool, tennis court or screened enclosure shall be erected, placed or maintained, and no addition, alteration, modification or change to any such improvement shall be made without the prior written approval of the committee. No platting or architectural, engineering or site plan pertaining to the development of any Residential Parcels or any improvements within the Committed Property shall be effectuated without the prior written approval of *“the Committee”*.

DISCLAIMER: *These guidelines are subject to regular change at the discretion of the Architectural Review Board. Please make sure you have the most current copy. Forest Ridge and the sub associations adhere to all Town of Davie codes. Please review those codes to ensure the success of your ARB application. (10/13/15)*

DISCLAIMER: *Each homeowner must retain their own records. The Association, via management, may only retain records going back 7 years. (10/19/15)*

4. **Method of obtaining Committee Approval:** In order to obtain the approval of *“the Committee”*, one (1) complete set of plans and specifications for the proposed construction shall be submitted to the Committee for its review. The Plans shall include, as appropriate, the proposed location, grade elevations, shape dimensions, exterior color plans, approximate costs, and nature, type and color of materials to be used. The committee may also require the submission of additional information and materials as may be reasonably necessary for the Committee to evaluate the proposed Plans. The committee shall review and approve or disapprove all plans submitted to it for any proposed improvement, alteration or addition solely on the basis of aesthetic standards as to the aesthetic quality of materials and workmanship to be used, suitability and harmony of location, structure and external design in relation to surrounding topography and structures and the overall benefit or detriment which would result to the Community Property as a whole. The committee shall take into consideration the aesthetic aspects of the architectural design, placement of building, landscaping, color schemes, exterior finishes and materials and similar features and shall not be responsible for reviewing, nor shall its approval of any Plans or design be deemed approval of, any design or Plans from the standpoint of structural safety or conformance with building or other codes.

5. **Approval or Disapproval by the Committee:** *"The Committee"* shall refuse to approve any proposed plans which, in its discretion, which do not comply with the adopted Forest Ridge Master Homeowners Association Standards. By approving or disapproving Plans, the Committee shall consider the suitability of the proposed improvements and/or Plans, the site upon which the proposed Improvements are to be erected, the harmony thereof with the surrounding area, property, Dwelling Units, and other Improvements and the effect thereof on the adjacent or neighboring property. Any and all approvals or disapprovals of the Committee shall be in writing and shall be sent to *the Sub Association*, and to each respective Owner submitting same. In the event the Committee fails to approve or to disapprove in writing any Plans **forty-five (45) days** after submission, of a complete ARB application, to the Committee of the Plans and any and all other reasonably requested information and material related thereto and delivery of a written request for approval or disapproval to the Committee by Owner or Owner's agent or attorney, then said Plans shall be deemed to have been approved by the Committee. All construction and landscaping shall be done in accordance with the plans approved by the Committee, within one (1) year (12 month period), unless submitted for re-approval in writing by the Committee. In the event the Committee disapproves any Plans submitted to it then in such event, the Committee shall notify said Owner in writing of such disapproval and the reason therefore.

6. **Appeal Process:** The owner may thereafter resubmit the plans for reconsideration to the *Architectural Review Board* within 45 days of the disapproval by submitting to *the Architectural Review Board*, a copy of the Plans accompanied with a written statement setting forth the grounds for appeal. If not appealed to the *Architectural Review Board* within 45 days, such disapproval by the Committee shall be final and binding. *The Architectural Review Board* shall have 45 days to approve or disapprove the Plans. In approval, the Board's decision shall be guided by the same factors that **the Sub Associations** Committee is required to consider. In no event shall anything be erected or allowed to remain which violates any conditions or restrictions in the Forest Ridge Declarations or any applicable zoning or building ordinances.

7. **Committee Standards:** *The Forest Ridge Homeowners Association Architectural Review Board* is empowered to publish or modify from time to time design and development standards for Forest Ridge including, but not limited to, standards for the following: (i) architectural design and improvements including, but not limited to, design standards for any dwelling Unit or other improvement constructed within the Committed Property; (ii) fences, walls and similar structures; (iii) exterior building materials and colors, (iv) exterior topography and landscaping; (v) exterior appurtenances relating to utility installation; (vi) signs and graphics, mailboxes and exterior lighting; (vii) building setbacks, pools and pool decks, side yards and related height, bulk and design criteria; (viii) pedestrian and bicycle ways, sidewalks and pathways; and (ix) all buildings, topography features, landscaping and improvements on lands owned or controlled by the Forest Ridge Master Homeowner's Association. A copy of the Standards promulgated by the Committee shall be set forth for approval by the Forest Ridge Master Homeowner's Association Board. An Owner may obtain a copy of the Standards from the Forest Ridge Master Homeowner's Association by making a written request therefore. The Committee may authorize, in a reasonable manner so as not to destroy the general scheme or Plan of the Development of Forest Ridge, variances from compliance with any Standards which it has promulgated pursuant hereto when circumstances such as topography, natural obstructions, hardship, aesthetics or environmental considerations may require.

If any such variance is granted, no violation of the restrictions contained in this Declaration shall be deemed to have occurred with respect to the matter for which the variance was granted. The granting of such a variance shall not operate to waive any of the terms and provisions of the Declaration for any purpose except as to that particular property and particular provision hereof or

Standards promulgated hereby which are covered by the variance. Such variance shall be evidenced in writing and executed by the members of the Committee.

8. **Liability: Indemnification:** *“The Committee”, Forest Ridge Architectural Review Board, the Forest Ridge Master Homeowners Association Board members and the Forest Ridge Master Homeowner’s Association do not determine or assume any responsibility for the quality of construction or structural soundness of any Improvements and no obligation or liability relating to construction of any improvements shall result from review or approval of any Plans by the Committee or the Forest Ridge Master Homeowner’s Association. Furthermore, “the Committee”, the Architectural Review Board, and the Forest Ridge Master Homeowner’s Association do not evaluate plans to determine whether the Plans satisfy all applicable governmental requirements. No member of “the Committee”, The Architectural Review Board, or the Committee’s duly authorized representative, nor the Forest Ridge Master Homeowner’s Association shall be liable to any Neighborhood Association, or to any Owner or any other person or entity for any loss, damage, injury or expense arising out of or in any way connected with the performance of said party’s duties hereunder, unless due to willful misconduct. Each and every member of “the Committee” including, but not limited to, members designated by the Forest Ridge Master Homeowner’s Association, shall be indemnified by the Forest Ridge Master Homeowners Association, the Neighborhood Associations and the Owners, against all costs, expenses and liabilities including Attorney’ Fees reasonably incurred by or imposed upon said members in connection with any proceeding, litigation or settlement in which said members becomes involved by reason of being or having been a member or representative of the Committee or the Forest Ridge Master Homeowners Association Architectural Review Board which reviewed an appeal or a Committee decision, or any settlement thereof. The foregoing provisions for indemnification shall apply whether or not said member is a member or representative of the Committee, the Board or the Forest Ridge Master Homeowner’s Association, which reviewed an appeal of a Committee decision, or any settlement thereof at the time such expenses are incurred.*

9. **Enforcement:** Except in emergencies, any exercise of the right of entry and inspection by the Committee hereunder shall be made only upon reasonable notice given to the Owner of record at least twenty-four (24) hours in advance of such entry. There is specifically reserved unto the Committee the right of entry and inspection upon any Residential Parcel or other portion of the Committed Property for the purpose of determination whether there exists any construction of any Improvement which violates the terms of any approval by the Committee or the terms of this Declaration or any other covenants, conditions, and restrictions to which the deed associated with such Residential Parcel or other instrument of conveyance makes reference. *The Committee is specifically empowered to enforce the provisions of this Declaration by any legal or equitable remedy and in the event it becomes necessary to resort to litigation to determine the propriety of any constructed improvement, or to remove any unapproved improvements. The prevailing party in such litigation shall be entitled to recover all Attorney’s Fees in connection therewith. The Forest Ridge Master Homeowner’s Association shall indemnify and hold harmless the Committee from all costs, expenses and liabilities, including Attorneys’ Fees incurred by virtue of any member of the Committee’s service as a member of the Committee.*

Forest Ridge Architectural Design Review Committee

Revision and Update Approved by: _____ Date: _____

Linda Lee Granger, Chairman

Forest Ridge Master Association Inc: _____ Date: _____

Connie Falzone-Tarrant, President FRMHOA (9/26/2019)

POOLS AND SPAS

Approval Criteria:

1. All pool/spa equipment (pump, filter and heater) must be placed on the lot in a location so as not to be a disturbance to the adjoining neighbor. Also a hedge must be installed around the equipment to screen the view from the street and the adjoining neighbor. See page 11 (#11) Landscaping/Hedges. **(revised 3/20/16)**
2. There shall be no storage of material or debris during construction which is visible from the front of the home.
3. No change in the condition of the soil or level of the land on any portion of the property shall be made which results in any permanent change in the flow or drainage of surface or subsurface water within Forest Ridge or which detrimentally affects any adjoining residence. If location of pool/deck encroaches into the Lake Management Easement areas, **ARB application must include the PRE-APPROVAL from the Central Broward Water Control District.**
4. Pools must be installed below grade. No above ground pools are permitted. Above ground portable spas are permitted. Must have all necessary Town of Davie Permits.
5. Any construction related activity that requires heavy equipment such as trucks, bulldozers, backhoes and the like to access any part of the rear or side of the property, will require written approval of any impacted adjacent property owner (s). **The written approval must be submitted with the ARB request.**
6. Residents are not permitted to damage or negatively impact Common areas, during any type of construction. If negative impact or damage occurs, the Forest Ridge Homeowners Association Board has the ability to stop construction until the negative impact or damage is remedied.

NOTE: For all homes which are located in a community with a Master irrigation system or a community operated irrigation system:

It will be the owners responsibility to insure that the Master Irrigation System/community operated irrigation system remains operable at all times and that, upon completion of the pool/spa, the yard be fully irrigated. For convenience the owner may wish to contact the management company, so the maintenance person for the community can check the system. All costs incurred will be the owners responsibility. **CALL: FirstService Residential: 954-378-1099**

Forest Ridge Architectural Design Review Committee

Revision and Update Approved by: _____ Date: _____

Linda Lee Granger, Chairman

Forest Ridge Master Association Inc: _____ Date: _____

Connie Falzone-Tarrant, President FRMHOA (9/26/2019)

LANDSCAPING AND HEDGES: ARB forms required for any changes to the landscaping, even with any changes in the Florida State statues or the Town of Davie codes. (10/13/15)

A. LANDSCAPING:

Approval Criteria:

1. Landscape material must be consistent with others in the neighborhood and be of the type suitable for South Florida.
2. If existing trees are to be removed they must be replaced in accordance with the current Town of Davie Regulations. Forest Ridge will require a minimum of **10'** in height for the replacement tree. Resident must have the permission from the Town of Davie. (with proper permit) to remove any mature trees. Submit a copy of approval application (showing Town of Davie recommendations) with ARB for Forest Ridge approval. The new tree must be planted within **30 days**.
3. If existing shrubs are to be removed, they must be replaced with shrubs sufficient enough to complete a planting bed of the same square footage.
4. All newly planted trees should be trimmed and maintained in accordance with the Town of Davie Regulations.
5. No change in the condition of the soil or level of the land (Berms and Plantings) on any portion of the property shall be made which results in any permanent change in the flow or drainage of surface or subsurface water within Forest Ridge or detrimentally affects any adjoining residence. Example: by putting rocks, gravel, pavers, stepping stones or other obstructions, on side yard to rear yard and removing most of the grass... this could change the flow. Forest Ridge abides with the Town of Davie Codes. **(amended 10/13/15)**
6. Farming Plots are NOT permitted in Forest Ridge. Vegetable plots must be out of the neighbors view.
7. No damage maybe done, by the equipment or during building, on a neighbors/homeowners or Common property. If in fact damage occurs to a neighbor or Common property, the Master Association has the right to stop all work, until a reasonable solution is reached.
8. The regular changing of annual and decorative flowering plants does not require advanced approval if the location and beds are not adjusted.
9. No Lights or other obstructions along driveway and or public sidewalk or in swale.
10. **Decorative landscape/yard water fountains/features or other Obstructions. (revised 3/20/16)**
 - a. Where the front & side yard is maintained by the Sub Association: **NO** obstructions are to be added that would interfere with the maintenance at that location. (Associations nor the Maintenance crews are not responsible for any breakage done to these items and they must be removed so as not to inhibit the completion of the maintenance).

Continued on page #11.....

LANDSCAPINGContinued from page #10. (revised 3/28/16)

- b. If the Sub Association approves a landscape water feature/fountain in the front yard (in a community where the homeowner maintains the property) such water feature/fountain must be no higher than **4** (four) feet or wider than **3** (three) feet.
 - c. If approved, the landscape water fountain/feature must be continually and properly maintained by the homeowner to be free of algae or rust or any obtrusive discolorations, etc.
 - d. **NO Book Receptacle/drop boxes/mini Library Box** of any kind is allowed on property. (on a pole and shaped like a house, with glass doors, etc.)
 - e. **NO STATUES** of human, animal likeness' or Roman Pillars are permitted on/in the landscape water fountain/feature or in the front or side landscaped/yard areas.
 - 1. **NOTE: These items do not conform with the aesthetics of the Forest Ridge community.**
 - 2. **All modifications are to be pre-approved by submission of an Architectural Review Board application form.**
11. **A hedge** must be maintained to keep the flow of landscaping around the front to side of the house.. and to screen the view from the street and the adjoining neighbor, the air conditioner/ water softener/ pool equipment/ etc., which is on the side of the house. Same as Page 9 (#1) **revised 3/20/16**
- a. **Landscaping installations (planted material)** are **NOT** permitted within 18" (inches) of a property line (side or rear). **(revised 6/1/16)**
 - b. Where a Master or Sub-Association hedge/landscape is planted, no other hedge or landscaping material may come within **18 inches**, for proper maintenance by Master/ Sub-Association and the resident. **(revised 6/1/16)**
 - c. Nothing emanating from a residents yard may encroach upon Master or Sub Association common element landscaping. **(revised 6/1/16).**
 - d. **Refer to Page 12 B. Hedges. (updated 6/1/16)**
12. **NO ARTIFICIAL (SYNTHETIC) GRASS/TURF IS PERMITTED IN FOREST RIDGE . Per Forest Ridge and the Town of Davie codes...**Artificial grass can be put on a patio. **Section 12-111, Landscaping Standards for Lots and Sites, (A) Single-family and two-family districts says: 4. Sodding.** All portions of the development site not dedicated to buildings, driveways, walkways or landscaping shall be sodded in accordance with the Florida-friendly landscape requirements of section 12-103(J) above. **(revised 6/21/16)**
13. **NOTE: The Declaration of Protective Covenants, Restrictions and Easements for OAK PARK AND CHAPEL HILL prohibit any owner from placing or planting any additional landscape material within any front/side yard or modify or alter in any manner the landscaping installed by the Forest Ridge Community Development, Ltd. (the builder). All changes must be pre-approved in writing, with an ARB form, list of planting, lot survey showing detailed design plan. if this is done, it is then the homeowners responsibility to maintain.**
14. **No Vines or plants** are to be grown on the wall of the house, fences, or walls of the community. **(revised 8/25/18)**

LANDSCAPING AND HEDGES CONTINUEDContinued from page #11.....

15. **The planting of plants** that obscure or impact the functional operation, purpose or view of the mailbox are prohibited.

- a. **NOTE: Arborwood, Lake Park and Oak Grove have cluster mail box areas maintained by the Sub-Association.**

B. HEDGES:

Approval Criteria:

1. No hedges (as hereinafter defined) on any lot shall exceed six (6') feet in height, provided however, that any portion of a hedge which is adjacent to a lake or ridge shall not exceed three (3') feet in height. Adjacent means the portion of a hedge that is between the lake or the ridge and a point on a side lot line that is perpendicular to the closest point on the rear wall of a Dwelling Unit. If the **written consent** of both Lot owners is obtained, the portion of the hedge on such side lot line may be maintained at six (6') feet until one lot owner withdraws their consent. For the purpose of this rule, dwelling units include only air conditioned living space. A hedge is defined as any three (3) or more plants having woody stems which are planted closely together and form a barrier.
 - a. **NOTE:** Hedge must be maintained on all sides.
 - b. No hedge shall obstruct the view of the neighbor of the lake or the ridge.
 - c. Areca palms **ARE NOT** permitted as Homeowner hedges or barriers.
 - d. Refer to page 11 - #11 under Landscaping. (updated 6/1/16)
2. Privately owned hedges must conform to the prior paragraph.
3. The Master & Common hedges which are used as boundaries will be maintained no higher than 12 feet...(12')
4. Hedges used along front yard walk way to Front Door, must be maintained at a maximum of 4 feet (4') or less. (a guide height - is the sill on the garage window) Giving a tiered appearance in the landscaping.
5. **No landscaping, of any kind, is permitted from the street to the established landscaping footprint. The lawns must remain unobstructed.**
6. No Lights or other obstructions along driveway and or public sidewalk or in swale.

NOTE: For all homes which are located in a community with a Master irrigation system or a community operated irrigation system: It will be the owners responsibility to insure that the Master Irrigation System/community operated irrigation system remains operable at all times and that, upon completion of the above changes, the yard be fully irrigated. For convenience the owner may wish to contact the management company, so the maintenance person for the community can check the system..All costs incurred will be the owners responsibility.

CALL: **FirstService Residential**
954-378-1099
2950 North 28th Terrace
Hollywood, Florida 33020

Forest Ridge Architectural Design Review Committee

Revision and Update Approved by: _____ Date: _____

Linda Lee Granger, Chairman

Forest Ridge Master Association Inc: _____ Date: _____

Connie Falzone-Tarrant, President FRMHOA (9/26/2019)

ROOFS and ROOF TILES: Refer to page #35 - #50 (for more details):

ROOFS:

Approved Criteria:

1. **“Built-Up” type (wood frame):** Built-up Porch materials must be of the same type and appearance as the main structure of the home i.e.: Stucco and fascia.
2. **Fabricated Roof** systems consisting of the newest high-tech composite material or Aluminum with a “built-up” appearance (i.e.: *Elite Roof System* or similar high quality roof), which includes a **minimum CORE of four (4) inches of composite material** and covered (ceiling) with proper ceiling material to finish off. (Giving the appearance of a built-up roof system.) ***These dimensions must be indicated on the submitted drawings with the ARB form. (revised 3/20/16)***
 - a. **The fascia** must be a **minimum of 5 1/2”** to conform with the rest of the house. The fascia must be painted to match the trim of the rest of the house.
 - b. **Angled/pitched roofs:** must have **roof tiles** to match the rest of the house. The fascia must be painted to match the trim of the rest of the house.
 - c. **Flat or Angled /Pitched roofs**, must be of interlock or cleated roof systems. (no raised ridges are to be visible). If it exceeds the normal 3”-4” pitch, and ***the top of the roof is visible, the roof must be covered with the same roof tiles as on the rest of the house.***
 - d. **NOTE:** ***as of 2/20/2019, The Ridge On Nob Hill HOA*** has voted to allow aluminum cored roofs on patios in their community:
 - 1) ***It must follow the Master guidelines listed above.***
 - 2) ***It may not extend beyond the site lines of the house (cannot be seen from the street). It also must have the 5 ½ inch fascia to match trim color, with bronze or white frames and must be a 4 inch thickness.***
 - e. **NOTE:** ***as of 2/20/2019, The Ridge On Nob Hill HOA*** has clarified the following for their community:
 - 1) ***“Traditional-style” homes may change from barrel tile to flat or flat to barrel.***
 - 2) ***“Mediterranean-style” homes MUST keep barrel tiles, and the Arched windows and doorways, original to the home.***
 - 3) ***Roof color/tile must coordinate with paint colors and driveway colors.***
3. The color of the gutters and the down spouts on porches, enclosures or the house, are to match the same color as stucco and trim it is attached to. (revised 3/20/16)
4. Any other **METAL, TIN OR PAN ROOFS ARE NOT PERMITTED** within the Forest Ridge Community.

NOTE: ONLY “BUILT-UP TYPES” ROOFS are permitted in the ***North Orchard Homeowners Associations.***

PLEASE NOTE: Loose and broken roof tile are not aesthetically pleasing, a hazard and an accident waiting to happen....

*****PLEASE REMOVE ALL LOOSE AND BROKEN ROOF TILES, as soon as possible, AFTER AN EMERGENCY. DEFINITELY BEFORE HURRICANE SEASON BEGINS!*****

ROOF TILES: Continued on page #14.....

ROOFS AND TILES:Continued from page #13.....

ROOF TILES: THE ONLY APPROVED ROOFING MATERIALS ARE THOSE THAT WERE PROVIDED BY THE ORIGINAL DEVELOPER.

Approval Criteria:

1. Forest Ridge main roof tiles are cement/concrete, terra cotta or clay.
2. **NO METAL ROOF TILES** are approved in the community.
3. Stay as close as you can to the styles in your community roofs.
4. Samples of the tiles may be requested and will be returned to you. **Submit a color photo of the roof tile requested with your ARB form.**
5. **Roof Tiles may NOT be painted or stained.** With exception (Old Orchard/Southern Orchard) white sealant can be applied to an existing white flat tiled roof. (updated 4/16/13)
6. CLEAR sealants may be applied to the whole roof... must not be colored to alter the existing roof tiles. (updated 4/16/13)

*** APPROVED ROOF TILES** for (GRAY FLAT) **ARBORWOOD, CHAPEL HILL,** and **HALF OF LAKE PARK** are listed at the end of this report, on **PAGES 35 - 50.**

*** APPROVED ROOF TILES** for (BARREL OR "S") **HALF OF LAKE PARK , OAK GROVE** and **OAK PARK** are listed at the end of this report, on **PAGES 35- 50.**

FOR THE APPROVED ROOF TILES AND COLORS FOR ARBORWOOD, CHAPEL HILL, LAKE PARK, OAK GROVE AND OAK PARK, REFER TO PAGES 35- 50

- **Selections must be made from these approved Association colors and styles.**
 - If using another Roof Tile company, other than the three listed (Boral, Eagle and Crown), these tiles must be matched in style, composition, quality, and color to be approved for use. (updated 5/1/18)

NOTE: FOR THE APPROVED ROOF TILES AND COLORS FOR HIDDEN HOLLOW, NORTH ORCHARD, OLD ORCHARD, SOUTHERN ORCHARD AND THE RIDGE ON NOB HILL..REFER TO PAGES 35 - 50 for more information.

Forest Ridge Architectural Design Review Committee

Revision and Update Approved by: _____ Date: _____
Linda Lee Granger, Chairman

Forest Ridge Master Association Inc: _____ Date: _____
Connie Falzone-Tarrant, President FRMHOA (9/26/2019)

PATIOS AND SCREEN ENCLOSURES: Forest Ridge supports a “Green” Environment.

NOTE: *No new enclosures, porches, patios, or additions are to be build forward of the rear side wall of the house.*

A. PATIOS: Concrete, tiled, interlocking pavers, stamped/decorative concrete and rubber/ ”Rubbitall” (or similar high quality material) patios are permitted provided that:

Approval Criteria:

1. “Rubbitall” or similar high quality rubber granules (recycled or new) mixed with resin and poured into place.
2. The color of the material must be consistent with the existing house colors.
3. No change in the condition of the soil or level of the land on any portion of the property shall be made which results in any permanent change in the flow or drainage of surface or subsurface water within Forest Ridge or which detrimentally affects adjoining residence.
4. No patio/screen enclosure shall be built, past the side sight line of the residence.(revised 6/6/16)
5. Per the Town of Davie, no patio/screen enclosure can be built ***from the rear wall*** of the residence, that extends closer than **5 feet** from the rear property line or the setback requirements for that Association. ***(revised 3/20/16)***
6. Must have all proper Town of Davie Permits and variances.

B. SCREEN ENCLOSURES:

Approval Criteria:

1. The screen enclosure frame should be the same color as the existing house window frames (White or Black “Bronze”). The screening fabric material should be the same color as the existing house window screens.
2. All screen patio enclosures must have the proper Town of Davie Permits and variances.
3. No patio/screen enclosure should be built, to ***the side*** of the residence.
4. Per the Town of Davie, no patio/screen enclosure can be built ***from the rear wall*** of the residence, that extends closer than **5 feet** from the rear property line or the setback requirements for that association. ***(revised 3/20/16)***
5. Must have all proper Town of Davie Permits and variances.
6. Screen Enclosures *with the Fabricated roofs*, (refer to page 12) must be constructed to conform with the rest of the house....(i.e.: Stucco over wood/block walls)

Continued on page #16.....

PATIOS AND SCREEN ENCLOSURES:Continued from page #15.....

7. Pergola, heavy beamed Lanai, lattice or slat house (open-air) Structures are permitted, only if permanently attached to the house structure, in the rear of the property. Structure must be appropriately landscaped and maintained at all times (no rotting wood or dead plants)
8. *No canvas, cloth, plastic or other covering can be applied/laid directly upon the top of any screen enclosure, pergola, heavy beamed Lanai, Lattice or slat house structure. (revised 10/18/15)*
9. Gazebo's sheltering a hot tub requires the written request from physician stating the reason and pertinent details.

NOTE: For all homes which are located in a community with a Master irrigation system or a community operated irrigation system:

It will be the owners responsibility to insure that the Master Irrigation System/community operated irrigation system remains operable at all times and that, upon completion of the above changes, the yard be fully irrigated. For convenience the owner may wish to contact the management company, so the maintenance person for the community can check the system..All costs incurred will be the owners responsibility.

CALL: **FirstService Residential**
954-378-1099
2950 North 28th Terrace
Hollywood, Florida 33020

Forest Ridge Architectural Design Review Committee

Revision and Update Approved by: _____ Date: _____

Linda Lee Granger, Chairman

Forest Ridge Master Association Inc: _____ Date: _____

Connie Falzone-Tarrant, President FRMHOA (9/26/2019)

ROOM ENCLOSURES, ADDITIONS AND PORCHES:

NOTE: No new enclosures, porches, patios or additions are to be build forward of the rear side wall of the house. No structure can be built that would rise above the roofline of the house or drastically change the elevation of the house... must conform to the original design of the homes in the community. (revised 4/13/14)

Approval Criteria:

1. GLASS Sun Rooms are permitted. Frames should be the same color as existing house window frames.
 - b. Non Glass walls must be constructed with original materials used by the builder ie: wood & stucco... not Synthetic walls or doors. See #3 below. Must meet all codes & have all proper Town of Davie Permits. (revised 3/20/16)
3. ALL ARB submissions must be accompanied by conceptual Drawings for interim approval. FINAL APPROVAL must have full Architectural blue prints/plans for room enclosure/ addition/ porches. Must meet all Town of Davie restrictions and requirements, and have all necessary Town of Davie permits/variances.
4. Must conform to the existing building structure. Roof elevations, stucco, windows, doors, trims, paint and landscaping must conform to the existing home.
5. Must not extend closer to the **REAR** property line than **five (5) feet, from the rear wall of the house** (per the Town of Davie), per the setback requirements for that Association. **(revised 3/20/16)** NOTE: The rear setback is **10 ft.** but there is an exemption section in the Town code that allows for a 5 ft. rear setback for patios and screen enclosures, with and without roofs (Sec. 12-88). The general setback of 10 ft. would be applicable for an addition, including a patio that is completely enclosed to be used as **a habitable room** and not merely a patio. (updated 6/14/18)
6. The porch paint colors must match the existing house paint colors. The porch fascia must be painted the same color as the house fascia and the porch stucco must be painted the same color as the house stucco.

NOTE: For all homes which are located in a community with a Master irrigation system or a community operated irrigation system:

It will be the owners responsibility to insure that the Master Irrigation System/community operated irrigation system remains operable at all times and that, upon completion of the above changes, the yard be fully irrigated. For convenience the owner may wish to contact the management company, so the maintenance person for the community can check the system..All costs incurred will be the owners responsibility.

CALL: **FirstService Residential**
954-378-1099
2950 North 28th Terrace
Hollywood, Florida 33020

Forest Ridge Architectural Design Review Committee

Revision and Update Approved by: _____ Date: _____

Linda Lee Granger, Chairman

Forest Ridge Master Association Inc: _____ Date: _____

Connie Falzone-Tarrant, President FRMHOA (9/26/2019)

FENCES:

THREE (3) styles of fencing are currently permitted within the Forest Ridge Community. They are vertical wood Shadow Box, Black Vinyl Chain Link and White/Black Rail fences.

TO CLARIFY: Fences that are installed directly in line with another fence (Master, Sub Association or neighbors fences), **must be a minimum of 18” (Inches)** into the property line and weeds at this location must be removed and the area maintained. (Per the Town of Davie Ordinances/Codes) (Revised 6/1/16) Fences installed in rear of property (not on a lake) **must be 18” (Inches) off property line.** (inside the property line) Per the Town of Davie Ordinances/Codes. (Revised 6/1/16)

A. VERTICAL WOOD SHADOW BOX FENCES:

Approved Criteria:

1. Maximum height (5') five feet. All materials must be pressure treated.
 - a. ***Due to the extensive Master hedge project, involving the removal and replacement of the Master Ficus hedges on the perimeter of the community,*** it is deemed necessary to permit a resident whose rear property line directly abuts Nova Drive, Pine Island Road, SW 36th Street OR Nob Hill Road, to be approved for a (6') **six foot Vertical Wood Shadowbox fence. (updated 4/16/13)**
 - b. **RE: FENCE SCREENING: *SEE NOTE on Page 20..**
2. If the posts are to be exposed they must be on the inside of the lot that is constructing the fence and not the adjoining neighbors side.
3. The fence may not extend forward of the rear corner wall of the home. With exception, where the pool equipment can be enclosed within the fence perimeter for security. Proper landscaping still applies on all the front and side of the pool equipment.
4. All fences must be constructed with pressure treated materials which must remain natural and may not be painted or stained. They may be treated with a clear wood preservative from time to time to maintain the natural color of the wood, or keep it naturally aging further.
5. All Vertical Slats must have dog-eared tops and spacing should be a maximum of (4") Four inches (or measure no more than 1/2 the width of the slats). **NOTE: Per new State of Florida requirements, if a pool is installed, the opening must be closed with wood strips so no one (child, etc) can climb onto boards and jump the fence..**
6. **“Board on Board” Vertical Wood Shadow Box fences are no longer approved.**
7. **No Vines or plants are to be grown on the wall of the house, fences, or walls of the community. (updated 8/25/18)**
8. *****NOTE:** Homes which are constructed on **ZERO LOT LINES** must provide a gate in a location which will enable the adjoining neighbor to properly maintain their home. Refer to page #16 of the community By Laws under Maintenance Easements (5.7.1 to 5.7.4 for clarification) Approval will remain in effect as long as the fence is maintained and in good condition and appearance.

Wood Vertical Shadow Box Fences are **NOT PERMITTED on Ridge and Lake Lots.

**No enclosures permitted for dog runs or containment areas.

FENCES: BLACK VINYL CHAIN LINK FENCES and RAIL TYPE FENCES (ALUMINUM)

.....Continued on pages #19 & 20...

FENCESContinued from page #18.....

B. BLACK VINYL CHAIN LINK FENCES:

Approved Criteria:

1. **MAXIMUM HEIGHT (5') five feet.** The fence must be a complete Black Vinyl System including the post and rails. Painting is not acceptable.
2. The fence may not extend forward of the rear corner of the house. With the exception, where the pool equipment can be enclosed within the fence perimeter for security. Proper landscaping still applies on the front and side of the pool equipment.
3. Rear fences going parallel to the shoreline, must be a minimum of (5') five feet from the grass at the shoreline (i.e: water surface control elevation). ***Pre-approval from CBWCD required with ARB application.***
4. ****NO** enclosures permitted for dog runs or containment areas in Forest Ridge.
5. **No Vines or plants are to be grown on the wall of the house, fences, or walls of the community.** (updated 8/25/18)
6. **RE: FENCE SCREENING: SEE NOTE on Page 20..**
7. **NOTE: LAKE PARK RESIDENTS:**
 - (a) Residents in **Lake Park**, with rear yard, at the **"Park Area"**, are only allowed **Black Vinyl Chain Link Fences**. Gate placement must permit entrance from front/side and rear areas.
 - (b) If encroaching on Common Property of LPHOA, must have approval of LPHOA Association FRMHOA ARB and an approved Variance from the Town of Davie.

C. RAIL TYPE FENCES (ALUMINUM):

Approval Criteria:

1. **Maximum height (5') five feet** and be "Bronze" Black or White.. 2" x 2" posts
2. Vertical slats with straight bar on top. (no decorative designs or points).
3. Fence may be installed in advance of the rear corner only to enclose pool equipment. Proper landscaping still applies.
4. **NOTE: This is the only type fence permitted around the pool deck area and can be installed on the deck surface or no farther than (1') one foot from the deck. It must have at least one self locking gate and meet all Town of Davie codes.**
5. ****No** enclosures permitted for dog runs or containment areas in Forest Ridge.
6. **NO Vines or plants are to be grown on the wall of the house, fences, or walls of the community.**

FENCES.... Continued on page #20.....

FENCES: RAIL TYPE FENCES (ALUMINUM):Continued from page #19.....

6. *****NOTE:** Homes which are constructed on **ZERO LOT LINES** must provide a gate in a location which will enable the adjoining neighbor to properly maintain their home. Refer to page #16 of the communities documents-By Laws, under Maintenance Easements (5.7.1 to 5.7.4 for clarification). Approval will remain in effect as long as the fence is maintained and in good condition and appearance.
7. *****LAKE LOTS:** The fence may not extend into the lake maintenance Easement or Lake Slope Easement without the **written pre-approval of the Central Broward Water Control District.(CBWCD). This approval must accompany all fence ARB submissions.**
8. *****RIDGE LOTS:** Homes backing up to the Ridge/Park Preserve may continue with the wooden rustic “bar” fences, along the rear property line only... all other fences (sides & at the rear wall of the house) must be Black Chain Link Vinyl or Rail Type Fences.

NOTE FOR ALL FENCES:

- The Forest Ridge Master Homeowners Association Architectural Review Board made the decision during the “**Master Hedge Replacement Project**”, to allow temporary reed fences or black/dark green “screening” until the new hedges reached the growth level of the top of the fences. Once the top of the hedges equal the top of the fence, the reed fence or “screening” **MUST BE REMOVED.** (originally amended 7/2013/ revised 8/8/18)
- **FENCES:** all fences must be clear of any vegetation/obstacles at all times. No vegetation is permitted .. closer than 18” (inches) off the property line. (amended 8/2/18)
- **No plastic, vinyl, or any other slats** are permitted to be woven into the chain link fence. (amended 2/21/2019)

NOTE: For all homes which are located in a community with a Master irrigation system or a community operated irrigation system:

It will be the owners responsibility to insure that the Master Irrigation System/community operated irrigation system remains operable at all times and that, upon completion of the above changes, the yard be fully irrigated. For convenience the owner may wish to contact the management company, so the maintenance person for the community can check the system..All costs incurred will be the owners responsibility.

CALL: **FirstService Residential**
954-378-1099
2950 North 28th Terrace
Hollywood, Florida 33020

Forest Ridge Architectural Design Review Committee

Revision and Update Approved by: _____ Date: _____

Linda Lee Granger, Chairman

Forest Ridge Master Association Inc: _____ Date: _____

Connie Falzone-Tarrant, President FRMHOA (9/26/2019)

EXTERIOR REPAINT:

Approval Criteria: ***Approval subject to the following:***

1. Colors must be in unison with other homes in the neighborhood.
2. Colors must be compatible with the architectural style of the home.
3. **Colors - may not be the same COLOR, as a home on either side of the residence**
(updated 9/20/18)
4. Colors must be chosen from the current existing "***Pre-Approved Community Color Selections***" and samples/swatches must be submitted with the ARB applications.
5. ARB forms must be submitted prior to **repainting**, even if the color is original to the house, and not being changed. (a color sample **MUST** be included with the ARB application.)
6. **Arborwood, Chapel Hill, Lake Park, Oak Grove and Oak Park:** the garage door and front door must be the same color as the trim unless otherwise approved. Refer to the Sub-association approved color charts for all selections.
7. **Hidden Hollow, North Orchard, The Ridge on Nob Hill, Old Orchard and Southern Orchard:** The garage door and the front door must match the trim or base color of the house unless otherwise approved. Refer to the Sub-association approved color charts for all selections.
(A) **The Ridge on Nob Hill..**submit a color photo of Roof along with Paint Swatch. (8/21/17)
8. **BLACK GARAGE DOORS/FRONT DOORS** are no longer permitted in Forest Ridge. The homes that have these original color schemes were grandfathered in, they may repaint with ARB approval and color samples/swatches attached. Some of the Estate and Executive homes have black in some color schemes, as an accent or trim color.. review the approved Sub Association APPROVED Color Schemes for selection.
9. **FAUX WOOD PAINT FINISHES -GARAGE and FRONT DOORS** are **NOT PERMITTED.**

NOTE: **ARBORWOOD, CHAPEL HILL AND 1/2 OF LAKE PARK ARE THE BERMUDA COLOR SCHEMES.** Soft muted pastels. Approved color schemes available at Sub Association.

NOTE: **ARBORWOOD AND CHAPEL HILL** residents, whose property backs to the Inside of the Perimeter WALL, please notify FRMHO Association of any structural damage or problems with the wall.

NOTE: **OAK GROVE, OAK PARK AND 1/2 OF LAKE PARK ARE THE MEDITERRANEAN COLOR SCHEMES.** Approved color schemes available at Sub Association.

NOTE: **ALL OTHER ASSOCIATIONS (Hidden Hollow, North Orchard, The Ridge on Nob Hill, Old Orchard and Southern Orchard..** have approved color schemes.

CALL: FirstService Residential... 954-378-1099 for the APPROVED color selections for your Sub-Association. ***IF your community is NOT Managed by FSR, please contact your property manager.***

Forest Ridge Architectural Design Review Committee

Revision and Update Approved by: _____ Date: _____

Linda Lee Granger, Chairman

Forest Ridge Master Association Inc: _____ Date: _____

Connie Falzone-Tarrant, President FRMHOA (9/26/2019)

GUTTERS AND DOWNSPOUTS:

Approval Criteria:

The gutters and downspouts must be the same color as the surface to which they are attached. i.e:

1. The gutter color must be the same color as the existing fascia color.
2. The downspout color must be the same color as the existing stucco wall color.
3. Location of Downspouts must be indicated on a diagram of the house and submitted with the complete ARB application, before work is done.
4. The water coming out of the downspouts must not adversely impact the neighbor property.

NOTE: Approval will remain in effect, as long as, the gutters and downspouts are properly maintained, i.e.: free of peeling paint and rust, and properly attached to the house.

FLAG DISPLAYS: Approval subject to the following:

Approval Criteria:

The ONLY flags permitted to be flown in Forest Ridge are the OFFICIAL USA FLAGS and an OFFICIAL Military Flag (ie: US Air Force, Army, Coast Guard, Marines, Navy and POW).

1. To be flown with respect and in accordance with the proper flag flying decorum.
2. If Flag is faded, tattered or torn, it must be retired properly.
3. It can be affixed (with a proper attachment) to the wall of the house, at the garage or the front door.
4. "O" or "Z" lot communities with small front yard, no poles in the front yard (NOTE: Depending of the size of the lot, the Sub Association may review a location for a pole)
5. Larger lot communities are allowed a flag pole with pre-approval of location, etc.
6. Pole size must be in proportion with size of the lot and the flag, Max. height 15 feet. No pole may be installed that would obstruct the view of the neighbor.
7. Light fixture placement may not be offensive to the neighbors or the community.
8. **GROUND "BANNERS"** may be placed, on Banner stands.. 16" x 24" maximum, in the ground, in the front yard landscaping footprint. **(revised 4/29/19)**
 - a. *As per all MODIFICATIONS:* The approval of this banner must be requested, with the submission of an ARB application, with the proposed location marked on a lot survey, along with a color photo of the Banner.
 - b. Ground Banners may NOT be of questionable taste, nor of a subject that would offend neighbors.

Forest Ridge Architectural Design Review Committee

Revision and Update Approved by: _____ Date: _____

Linda Lee Granger, Chairman

Forest Ridge Master Association Inc: _____ Date: _____

Connie Falzone-Tarrant, President FRMHOA (9/26/2019)

FRONT AND GARAGE DOORS:

Approval Criteria:

1. **Original Front doors** in Forest Ridge were metal: They can be replaced with metal or wood doors (with or without glass inserts). Metal Doors must be painted to match the color of the Garage door. **NO FAUX WOOD FINISHES ARE ALLOWED.**
 - a. **Arborwood, Chapel Hill, Lake Park, Oak Grove and Oak Park:** the garage door and front door must be the same color as the trim unless otherwise approved. Refer to the Sub-association approved color charts for all selections. **See “d” below.**
 - b. **Hidden Hollow, North Orchard, The Ridge on Nob Hill, Old Orchard and Southern Orchard:** The garage door and the front door must match the trim or base color of the house unless otherwise approved. Refer to the Sub-association approved color charts for all selections. **See “d” below.**
 - c. **BLACK GARAGE DOORS/FRONT DOORS** are no longer permitted in Forest Ridge. The homes that have these original color schemes were grandfathered in, they may repaint with ARB approval and color samples/swatches attached. Some of the Estate and Executive homes have black in some color schemes, as an accent or trim color.. review the approved Sub Association Color Schemes for selection. **See “d” below.**
 - d. **Metal or Fiberglass Doors with wood grain** imbedded in the door, may be the color of wood, per the manufacturer; ie: Maple, Oak, etc. and/or The color of the Garage Door which is the color of trim or base (to match the approved color Schemes of the Sub Association) or White.
2. All ARB submissions **must indicate** what color is for BASE, TRIM, ACCENT, FRONT DOOR AND GARAGE DOOR. **Samples/color swatches are required even if repainting with the existing color.**
3. **WOOD DOORS (with or without glass inserts):**
 - a. Maybe stained the natural color of the wood or have clear polyurethane coating to preserve the beauty of the wood.
 - b. Maybe painted the color of the Garage door.
 - c. **NO FAUX WOOD FINISHES ARE PERMITTED.**
4. **GARAGE DOORS:** Must have all necessary Town of Davie Permits and meet all necessary Hurricane Codes. Door must be painted to match front door/ and or Sub Association color schemes for your house.
5. **CALL: FirstService Residential...954-378-1099** for the color selections for your Sub-Association. **IF your community is NOT Managed by FSR, please contact your property manager.**

Forest Ridge Architectural Design Review Committee

Revision and Update Approved by: _____ Date: _____

Linda Lee Granger, Chairman

Forest Ridge Master Association Inc: _____ Date: _____

Connie Falzone-Tarrant, President FRMHOA (9/26/2019)

STORM SHUTTERS:

Any changes to existing materials must be approved in advance of shutter removal or installation. Any requests to place Accordion Shutters, Roll-Up Shutters or Bahama Shutters on the FRONT of house must be accompanied with a letter of explanation to justify allowing the architectural change. All shutters must be removed, as soon as possible, after the emergency passes, but no longer than 30 days.

A. REMOVABLE PANELS:

Approval Criteria:

1. Due to the fact that storm panels are usually aluminum corrugated and not decorative, they may only be installed during severe weather emergencies and must be removed immediately after the emergency passes. The panels must be stored inside the home/garage (out of view).
2. The header and sills, if removed, should also be installed only during emergencies and immediately removed after the emergency passes. In the event any tracks and or hardware are permanently attached, they must be painted to match the existing stucco or trim color that they are attached to.

B. ACCORDION (FOLDING) SHUTTERS:

Approval Criteria:

1. The header, sills and tracks must be painted to match the existing stucco or trim color it is attached to.
2. The folding slats must be of the type that when fully stacked on each side of the opening the slats total (1") one inch per foot in thickness. The slats, which are usually PVC or ESP aluminum and can not be painted, must match as closely as possible either the existing stucco wall color or trim color.
3. **NOTE:** *as of 2/20/2019, The Ridge On Nob Hill HOA has clarified the following for their community:*
 - a. *Accordion shutters must be white or beige to match the base color of the house as close as possible.*
 - b. *No black accordion shutters*

C. HORIZONTAL SLIDING AND HINGED COLONIAL SHUTTERS:

Approval Criteria:

Due to the fact Horizontal Sliding Shutters have a top and bottom track that is permanently attached, the tracks must be painted to match the stucco color to which they are attached. The shutters for both the Horizontal Sliding and Hinged Colonial Shutters must be painted the same color as the house trim color.

D. BAHAMA SHUTTERS:

Approval Criteria:

1. Bahama Shutters are permitted provided that they meet the South Florida Building Code for Hurricane Shutters.
2. Bahama Shutters MUST remain in the OPEN position under normal non-emergency weather conditions. (maximum of 30 degrees)
3. All tracks, fasteners, Shutter arms, and connectors must match the color of stucco or trim it is attached to.
4. Bahama Shutters must be a color that coordinates with the rest of the house, trim or stucco. Storm bars must match the color of the Shutter.

STORM SHUTTERS Continued on page #25.....

STORM SHUTTERS Continued from page #24.....

BAHAMA SHUTTERS CONTINUED..

5. Storm bars must only be in place during a weather emergency and must be removed immediately after the emergency passes.
6. They must be free from mold/mildew and be in good appearance at all times.

E. ROLL UP SHUTTERS:

Approved Criteria:

1. Housings must be installed as high and close to the soffit where possible.
2. Housings should be limited to the following widths:
ALL WINDOWS: 7" wide
6' 8" High Sliding Doors 8" wide
8' 0" High Sliding Doors 9" wide
3. Housings and tracks must be painted to match the existing stucco color.
4. The Slats which are usually PVC or ESP aluminum and can not be painted, must match as closely as possible either the existing stucco wall color or trim color.
5. **NOTE:** If the shutters are equipped with electric motors, there shall be no exposed wire or conduit on the outside of the house.

F. HURRICANE IMPACT WINDOWS AND DOORS:

1. IMPACT Windows and Doors must have white or bronze frames.
2. Tint must be green or gray only. No black (extremely dark shade) allowed.

G. OTHER APPROVED HURRICANE PROTECTION:

1. "**FABRIC SHIELD**" AND "**ARMOUR SCREENS**" have been approved in Forest Ridge. The ARB applications must contain details about these items, descriptions, a diagram indicating the location of the item, photo's and all necessary information to describe them.
2. Hardware and strappings if installed on the house, must match the color of stucco or trim that they are attached to. If they are not installed, they should only be in use when the emergency weather conditions require them to be. When not in use, they must be out of sight.
3. As with all other Hurricane Protection... they must be removed and stored out of sight..as soon as possible, after the weather emergency has passed.

Forest Ridge Architectural Design Review Committee

Revision and Update Approved by: _____ Date: _____

Linda Lee Granger, Chairman

Forest Ridge Master Association Inc: _____ Date: _____

Connie Falzone-Tarrant, President FRMHOA (9/26/2019)

DRIVEWAYS:

Asphalt, concrete, interlocking pavers and stamped/decorative concrete driveways are permitted in the area between the public sidewalk and the garage provided that: (with exception of The Ridge on Nob Hill).

Approval Criteria:

1. It is of like or improved material and that the color of the stamped or decorative concrete or interlocking pavers must be consistent with the existing house color.
2. No change in the condition of the soil or level of the land on any portion of the property shall be made which results in any permanent change in the flow or drainage of surface or subsurface water within Forest Ridge or which detrimentally affects any adjoining residence.
3. Changes in the driveway between the Public Sidewalk and the street ***require the prior written approval of the Town of Davie Engineering Department.***
4. If changing from asphalt to concrete, interlocking pavers or stamped concrete driveway, with the intention to widen the existing dimensions to extend beyond the GARAGE opening (ie: the width of the wall on either side of the opening or a max. of 1 1/2 feet on either side), a letter must be submitted with the ARB, as to the reason for this extension request. ***However, no regular driveway width, will be extended, to create an extra parking space.***
 - a. ***NOTE: Communities with Z lot lines: If a neighbors property line is located inches from the driveway on one side, no extensions can occur.***
 - b. ***NOTE: OAK PARK: 5/2014..The OPHOA Board voted to allow residents to widen (per #4 above) driveways. Note: 4A still applies per the lot survey and Town of Davie permit Approval.***
5. Where the residence has the second (smaller) garage door, next to the main garage door the driveway extends to that corner of the house. However, no regular driveway width, will be extended, to create an extra parking space.
6. ***AT NO TIME CAN THE ASPHALT (BLACK) DRIVEWAY EVER BE PAINTED.. Only permitted to reseal the surface or replace the existing Asphalt Driveway.***
7. ***NOTE: as of 2/20/2019, The Ridge On Nob Hill HOA has clarified the following for their community:***
 - a. ***Must be kept in the same style and color original to the home and community and coordinate with the roof.***
 - b. ***No patio pavers or stamped concrete driveways.***

DRIVEWAYS.....Continued on page #27.....

DRIVEWAYS Continued from page #26.....

CIRCULAR DRIVEWAYS:

1. If changing from regular driveway to a circular driveway the ARB form must include a diagram with all new dimensions, easement locations, property survey, type and color of material to be used, and have all proper Town of Davie permits necessary.
 - If any landscaping is to be removed to create this circular driveway, a plan must be submitted for removal, replacement and re-landscaping of front area. **No trees are to be removed without the pre-approval of the Town of Davie. Submit completed Approved Town of Davie application with the ARB form to show what they require as replacement for removal of trees.**
2. If the newly created area between the new circular driveway and the sidewalk is 3' or more, this area must be landscaped to conform with others in the community. If smaller than 3', this area must be sodded, at a minimum. Homeowner is responsible for all maintenance to this area. Proper irrigation must be provided to water this area.
3. No extra walkways to go from the sidewalk to the house entry are permitted.
4. No parking on lawns or Common grass areas.
5. **NOTE:** The re-sealing and repair of all driveways is considered a maintenance item and does not require committee approval.
6. **NOTE: THE RIDGE ON NOB HILL AND OAK PARK:** Apron areas must match the driveway.
7. No regular driveway width, will be extended, to create an extra parking space.

NOTE: For all homes which are located in a community with a Master irrigation system or a community operated irrigation system:

It will be the owners responsibility to insure that the Master Irrigation System/community operated irrigation system remains operable at all times and that, upon completion of the above changes, the yard be fully irrigated. For convenience the owner may wish to contact the management company, so the maintenance person for the community can check the system..All costs incurred will be the owners responsibility.

CALL: **FirstService Residential**
954-378-1099
2950 North 28th Terrace
Hollywood, Florida 33020

Forest Ridge Architectural Design Review Committee

Revision and Update Approved by: _____ Date: _____

Linda Lee Granger, Chairman

Forest Ridge Master Association Inc: _____ Date: _____

Connie Falzone-Tarrant, President FRMHOA(9/26/2019)

ADDITIONAL PROVISIONS:

In order to preserve the values of Forest Ridge, the following additional provisions shall be applicable and are specifically addressed in the Declaration of Protective Covenants, Restrictions and Easements for Forest Ridge:

Approval Criteria:

1. **Exterior Antennae, Aerials, Solar Collector Panels and all Radio Transmission Equipment:**
 - a. Exterior Antennae - Prohibited
 - b. Aerials - Prohibited
 - c. Radio Transmission Equip. - Prohibited
 - d. Solar Collector Panels - ***Require Forest Ridge Architectural Design Review Committee PRE-approval.***
2. **Boat Docks and Boat Ramps** - Prohibited
3. **SIGNS:** "For Sale" and "For Rent" signs are permitted, provided that they do not exceed four (4) square feet and are professionally prepared. They must be installed on the homeowners property ONLY. All other signs are prohibited.
4. **WINDOW COVERINGS:** No window shall be covered with aluminum foil, newspaper, reflective material and any other unsightly material.
5. *NO clothes lines or hanging rack...* Clothes, etc. must be dried out of view.
6. **PROHIBITED STRUCTURES:** including but not limited to: trailers, canopies/tents, shore line platforms, Aviaries, fishing piers, shacks, sheds, barns, outbuildings (including dog houses, children's enclosed or structured playhouses, etc.)
7. **"Pods" (and like) storage containers,** may only be temporarily permitted by the sub-association Board of Directors, with **pre-approval** and for a period **not to exceed 72 hours** (unless otherwise pre-approved for an extension by the sub-association Board).
8. **CONCRETE BUTTONS, Concrete Pyramid Cones, Stones, Rocks or other obstructions** are **NOT PERMITTED** in any location. (*Per Town of Davie Codes - updated 10/13/15*)
9. **GARBAGE CONTAINERS AND RECYCLE BINS:** Must be stored in the garage or screened from the front and side views, **IN REAR YARD.**
10. **AWNINGS:** (must be maintained... no mold or mildew or tears)
 - a. Retractable Awnings are permitted in Forest Ridge, however they must be of solid color to coordinate with the aesthetics of the community. (Stripes and patterns are not permitted). Color must compliment house color scheme.
 - b. If motorized, the mechanism must be hidden from view as much as possible.
 - c. Affixed Cloth/Canvas Awnings are permitted. Solid color ONLY. Color must compliment house color scheme. It may be installed within a Screened Enclosure (submit details with ARB application.) (revised 10/28/15)
 - d. No Awnings or canvas/fabric may be laid upon any screen enclosure roof. (revised 10/18/15)
11. **GARAGE DOORS:**
 - a. Must be standard doors (as seen throughout the community).
 - b. **Per The Ridge on Nob Hill HOA (clarified 2/21/19) No windows in the garage doors are allowed.** They are allowed in other Sub Associations.. see your property manager.

Additional Provisions ...Continued from page #28.....

12. **STORAGE UNITS (ONLY Permitted in the Ridge on Nob Hill):**
 - a. Must be Rubbermaid type construction (NO METAL) measuring no more than 6' tall and 3' wide.
 - b. Unit may be only placed in the rear of the property, abutting a rear facing wall. No units may be on the side of the house, or be visible from front or side view. and must always be kept clean and with out mold or mildew.
13. **GARAGE DOOR ROLL-UP (IN CASING) SCREENING** permitted. The tracks and casing must be painted the color of stucco or trim it is attached to. ONLY White or Black screening permitted to coordinate with house colors. It must be maintained at all times....If damaged, it must be replaced or removed as soon as possible.
14. **HOLIDAY DECORATIONS:** *The Forest Ridge Master Homeowners Association reserves the right to restrict excessive decorations that result in the impediment on traffic flow in the community.*
 - a. **Major** holiday lights/decorations must be removed by **JANUARY 15**.
 - b. **Minor** holiday lights/ decorations may be installed in advance of the holiday and must be removed within **(3) three days** of the holiday's conclusion.
15. **The planting of plants** that obscure or impact the functional operation, purpose or view of the mailbox are prohibited. (revised 4/29/19)
 - a. **NOTE: Arborwood, Lake Park and Oak Grove have "cluster mail box" areas maintained by the Sub-Association.**
16. **CHILDREN'S PLAY EQUIPMENT:**
 - a. Children's Playground equipment (plastic, wood or metal) must **not exceed 10' in height**.
 - b. ARB must show the location for equipment and photo of equipment.
 - c. No enclosed "room" is permitted on play set.
 - d. Any canopy must be of solid color (no stripes/patterns) to coordinate with those approved already in the community. (ie: forest green, blue, brown)
 - e. All play equipment Structures must be maintained in good and clean condition.
17. **Sand filled boxes or play areas** must remain covered when not in use.
 - a. Sand must be replaced if it has offensive odor or discoloration.
18. **DUMPSTERS** (and like containers) may only be temporarily permitted by the sub-association Board of Directors, with **pre-approval** and for a period **not to exceed 72 hours** (unless otherwise pre-approved for an extension by the Sub-association Board). Must follow all Town of Davie guidelines concerning Dumpsters and like containers. (updated 11/1/13)
19. **NO Window or Wall Unit Air Conditioners permitted...** only as originally designed with Central Air Conditioner and Heating systems.
20. **NO CAR COVERS** on vehicles parked, in any other place, other than in the enclosed garage.
21. **HOUSE NUMBERS:** *All Residential property shall be identified with numerals/House Numbers that can be attached to the front of the house (above the garage door).. The house numbers which are 4 inches, and/or on a tastefully decorated tile that is no larger than a maximum of 6 inches (square tiles), and are to be in a contrasting color to the house colors, but Black is preferred. Also if there is a mail box on the Residents property, it must display a house number of 4 inches. This is because the first responders must have a clear view of the address number. (revised 7/27/19 and Per Town of Davie Municipal Ordinance 20-10-9 Section 6-31.(h) April 7, 2010)*

ADDITIONAL PROVISIONSContinued from page #29...

NOTE: AS OF 7/21/2009, ONLY PORTABLE BASKETBALL HOOPS/STANDS ARE PERMITTED IN FOREST RIDGE. NO PERMANENT/AFFIXED BASKETBALL HOOPS/ STANDS ARE PERMITTED IN FOREST RIDGE.

PORTABLE BASKETBALL HOOPS/STANDS: (equipment must not exceed standard 10 feet in height and design must conform to those already in the community...clear or White back board, and no bright colors: ie....red, purple, yellow, etc.)

1. No FRMHOA ARB form will be necessary for Portable Basket Ball Hoop/Stand approval.
2. Portable Basket Ball Hoop/Stands must be maintained in good working order and appearance. Broken structures and nets must be replaced, repaired or removed from sight. Repaint if paint chipped or worn.
3. Portable Basket Ball Hoops/Stands **must be moved away from the sidewalk and street when not in play.**
4. Portable Basket Ball Hoop/Stands may remain out providing that **the base of the stand ABUTS the driveway** and does **NOT REST ON NEIGHBORS** property (see your lot survey for location)
5. Portable Basket Ball Hoop/Stands does **not overhang on public sidewalk or street**
6. Play will end no later than **10 PM.** Must be considerate of neighbors when playing (at any time).
7. ONLY ONE PORTABLE BASKET BALL Hoop/Stand permitted per lot/property.
8. Those permanent basketball hoop/stands, that were **Grandfathered in, MUST BE REMOVED WITH THE TRANSFER THE HOUSE OWNERSHIP.** New owners will not have permission to keep existing in ground Basketball hoop without the pre-approval of FRMHOA ARB.
 - a. When hoop is removed, the ground and driveway must be repaired to the original state.

NOTE: NO PERMANENTLY AFFIXED BASKETBALL HOOP WILL BE ALLOW ON ANY PORTION OF THE HOUSE OR PROPERTY.

NOTE: For all homes which are located in a community with a Master irrigation system or a community operated irrigation system: It will be the owners responsibility to insure that the Master Irrigation System/community operated irrigation system remains operable at all times and that, upon completion of the above changes, the yard be fully irrigated. For convenience the owner may wish to contact the management company, so the maintenance person for the community can check the system..All costs incurred will be the owners responsibility.

CALL: **FirstService Residential**
954-378-1099
2950 North 28th Terrace
Hollywood, Florida 33020

Forest Ridge Architectural Design Review Committee

Revision and Update Approved by: _____ Date: _____

Linda Lee Granger, Chairman

Forest Ridge Master Association Inc: _____ Date: _____

Connie Falzone-Tarrant, President FRMHOA (9/26/2019)

VEHICLES: **NOTE:** *Some of the Sub-Associations may have specific rules on Vehicles, consult with Management on those details.*

Approved Criteria:

1. VEHICULAR PARKING:

- a. Obstructing the sidewalk or right-of-way areas is prohibited.
- b. **Overnight on street parking is prohibited.**
- c. No vehicles are to be parked at any pool lot overnight, without special proper parking permit displayed on front windshield (inside car). Call Management for parking permit.
- d. Vehicles should be parked in driveway or garage.
- e. No parking on lawns or common grass areas.
- f. Vehicles should always be parked in the direction of the flow of traffic.
- g. **NO Car covers on vehicles parked, in any other place, other than in the enclosed garage.**

2. **GOLF CARTS and MOTORIZED SCOOTERS:** must be (valid) licensed drivers only, registered Florida Licensed Vehicle only and follow Florida State road rules.

3. **ATV'S, GO-PEDS or MO-PEDS:** NOT PERMITTED IN FOREST RIDGE.

4. **FOREST RIDGE DOES NOT PERMIT VEHICLES that exceeds 18 feet (18') in length.** (i.e.: any recreational vehicle, commercial or non-commercial van, pick-up truck or other truck)

5. COMMERCIAL VEHICLES:

- a. Vehicles **in excess of 3/4 ton** are **NOT PERMITTED** to be parked overnight or in excess of 48 hours.
 - b. Vehicles **less than 3/4 ton** may not have large or obtrusive lettering (Chapel Hill ...all lettering must be covered and no signs painted on windows).
 - c. **NO EQUIPMENT OR TOOLS** may be visible on the vehicle. (Does not apply to Old Orchard and Southern Orchard: see sub-associations documents)
6. No Auto/vehicle or boat repairs or maintenance to be done in public view. Must be done ONLY within a closed garage. **AUTO REPAIR BUSINESSES ARE NOT PERMITTED IN FOREST RIDGE. revised 6/1/16**
7. **No boats, boat trailers or commercial vehicles**, regardless of length or weight, shall be permitted to be parked or stored at any place except in a fully enclosed garage or on the side of the house, so as to be shielded from public view, in accordance with the Town of Davie Ordinances Consult with Management for further details. CALL: **FirstService Residential - 954-378-1099**

Forest Ridge Architectural Design Review Committee

Revision and Update Approved by: _____ Date: _____

Linda Lee Granger, Chairman

Forest Ridge Master Association Inc: _____ Date: _____

Connie Falzone-Tarrant, President FRMHOA (9/26/2019)

RECEIVING / SATELLITE DISHES:

Approval Criteria:

Homeowners shall be allowed to install satellite dishes measuring no more than **one (1) meter in diameter (approx. 39.37 inches)** on their lots, provided such installation is first approved by the Architectural Review Board in the manner described in Paragraph III.D. of the Declaration of Protected Covenants and subject to the following provisions:

1. The committee will work with the resident to secure a location on the resident's property from which the best signal will be available and which will not compromise the community aesthetic values.
2. Every effort will be made to install the dish on the ground.
3. Every effort will be made to install the dish in the resident's back yard.
4. Every effort will be made to provide a clear "look angle" so the dish will face the southwest with an unobstructed view.
5. If the dish must be placed in a front yard, it should not be visible from the street. Flowers or plants must be placed in such a way that the dish is not in plain sight.
6. **Roof top installations are PROHIBITED.**
7. Insure that all dishes are properly installed and maintained to withstand hurricane force winds. If not remove, please remove before the storm arrives.
8. Painting or other alteration of the factory-finished appearance of a satellite dish is strictly prohibited

Forest Ridge Architectural Design Review Committee

Revision and Update Approved by: _____ Date: _____

Linda Lee Granger, Chairman

Forest Ridge Master Association Inc: _____ Date: _____

Connie Falzone-Tarrant, President FRMHOA (9/26/2019)

LAKE PROPERTY / SHORELINE RESTORATIONS:

Approved Criteria:

Per the standards set forth by the Central Broward Water Control District for the restoration of lake property, due to erosion, the following guidelines are set. (These are subject to revision by the CBWCD). Slopes should be sodded (not seeded) from the top of the bank to the water surface elevation. **NO "BEACHES" PERMITTED.**

Please call the **Central Broward Water Control District at 954-432-5110** or fax/ 954-432-8603 for any changes, information and pre-approval instructions.

NOTE: Written pre-approval and variances by the Central Broward Water Control District, MUST BE OBTAINED AND FURNISHED ALONG WITH THE ARB APPLICATION.

1. **RIP RAP**, sea-walls and retaining walls (are approved only on an individual basis by the granting of a variance), but their use is strongly discouraged.
2. **NATURAL FIBER EROSION CONTROL BLANKETS** are recommended for providing additional stabilization to lake side slopes.
3. **Combined system of woven filter fabric and interlocking concrete blocks** comparable to the Tri-Lock Erosion Control System (sodded above the water line) is recommended for managing **severe** lake slope erosion.
4. **GEO BAGS SYSTEM**, refer to www.centralbrowardwcd.org for further details
5. **GRAVITY WALL**, refer to www.centralbrowardwcd.org for further details
6. **AQUATIC PLANTS**, refer to www.centralbrowardwcd.org for further details. Slopes can be planted with native aquatic vegetation along the shoreline to a depth of 3 feet below the water control elevation. If the homeowner plants them, they are responsible for their maintenance, control and appearance. They must not block the lake view from the neighbors. Furthermore, permanent signs should be visibly posted on lake side slopes planted with aquatic vegetation to prevent spraying or removal. See "Exhibit T" (of the Central Broward Water Control District. "STORM WATER MANAGEMENT" Regulations, Standards, Procedures, and Design Criteria") for a list of suitable plants and Section 2.04.5 for details regarding lake slope plantings. This information is available on the CBWCD's website at www.centralbrowardwcd.org or contact the **CBWCD at 954-432-5110** for details and more information.

NOTE: Any item not specifically addressed in the Design and Development Standards should be addressed in writing to the Forest Ridge Master Homeowners Association Architectural Review Board.

Forest Ridge Architectural Design Review Committee

Revision and Update Approved by: _____ Date: _____
Linda Lee Granger, Chairman

Forest Ridge Master Association Inc: _____ Date: _____
Connie Falzone-Tarrant, President FRMHOA (9/26/2019)

GENERATORS AND FUEL TANKS:

A. GENERATORS:

Approval Criteria:

1. TEMPORARY GENERATORS:

- a. Location must be away from any windows, doors, or ventilation openings, preferably the front driveway.
- b. When the emergency is passed and power is restored, they must be stored out of view.

2. PERMANENT GENERATORS:

- a. Location must be in relation to existing household equipment (ie: Pool Heater, Air Conditioner, Pool Pump) on rear or side of the house based on set backs and accessibility, per the Town of Davie Codes.
- b. Must be landscaped to hide from front and side views.

B. FUEL TANKS (of any kind):

- 1. **ONLY IN GROUND FUEL TANKS** are approved for Forest Ridge (Special circumstances will be considered).
- 2. Preferred location to be in rear yard not closer than five (5) feet from rear or side property line.
- 3. All equipment must be landscaped to hide from view.
- 4. Must meet all Town of Davie permit approvals.
- 5. Any construction related activity that requires heavy equipment such as trucks, bull dozers, backhoes, and the like, to access any part of the rear or side of the property, will require written approval of any impacted adjacent property owner (s). The written approval must be submitted with the ARB request.
- 6. No change in the condition of the soil or level of the land (berms and plantings) on any portion of the property shall be made, which results in any permanent change in the flow or drainage of surface or subsurface water within Forest Ridge or which detrimentally affects any adjoining residence.

NOTE: For all homes which are located in a community with a Master irrigation system or a community operated irrigation system: It will be the owners responsibility to insure that the Master Irrigation System/community operated irrigation system remains operable at all times and that, upon completion of the above changes, the yard be fully irrigated. For convenience the owner may wish to contact the management company, so the maintenance person for the community can check the system..All costs incurred will be the owners responsibility.

CALL: FirstService Residential

954-378-1099

2950 North 28th Terrace
Hollywood, Florida 33020

Forest Ridge Architectural Design Review Committee

Revision and Update Approved by: _____ Date: _____

Linda Lee Granger, Chairman

Forest Ridge Master Association Inc: _____ Date: _____

Connie Falzone-Tarrant, President FRMHOA (9/26/2019)

APPROVED ROOF COLORS FOR ARBORWOOD, CHAPEL HILL, LAKE PARK, OAK GROVE AND OAK PARK (Pages #35 - #50)

After Hurricane Wilma, 10/24/2005, (Irma 2017 and other storms) residents were not able (or found it very difficult if not impossible) to obtain the original roof colored tiles for their house (due to shortages or unavailability). The urgency (and safety of the resident) in approving the ARB application for roof replacements led the FRMHOA ARB, to allow other variations in the community approved roof tiles. This continued for a number of years after Hurricane Wilma. There were shortages and the roofing industry was overwhelmed by the number of roof replacements that were needed in South Florida. Residents were not able to hire a reputable roofer to do the job for up to 3 to 5 years. This was complicated by other Hurricane damage in the years that followed, bringing on more delays and shortages.

The FRMHOA ARB in trying to bring back the community color pallet and simplify the selection process, has compiled this list of approved color choices for these communities in Forest Ridge:

- ARBORWOOD:** (BERMUDA COLOR SCHEME) Flat natural grey tiles
- CHAPEL HILL:** (BERMUDA COLOR SCHEME) Flat natural grey tiles
- LAKE PARK:** (1/2 OF COMMUNITY - BERMUDA COLOR SCHEME)
Flat natural grey tiles
(1/2 of COMMUNITY- MEDITERRANEAN COLOR SCHEME)
Barrel /"S" Orange/terra cotta tiles
- OAK GROVE:** (MEDITERRANEAN COLOR SCHEME)
Barrel /"S" Orange/terra cotta tiles
- OAK PARK:** (MEDITERRANEAN COLOR SCHEME)
Barrel /"S" Orange/terra cotta tiles

NOTE: These above communities are unique, in that they had only one tile roof to choose from originally, (with the exception of Lake Park, that had a split community of color schemes).

- **The rest of the FRMHOA communities (Hidden Hollow, North Orchard, Old Orchard, Southern Orchard and the Ridge on Nob Hill),** have been able to acquire their Sub-Associations' roof tiles and styles, and kept within the Community Color Standards and guidelines. (flat or barrel tiles in different color selections: refer to each community color schemes for color selections)

NOTE: A color photo of the CURRENT roof, color photo of house (color scheme & driveway must coordinate), and photo of new tile (from brochure) are required with ARB application for The Ridge on Nob Hill. (8/21/17)

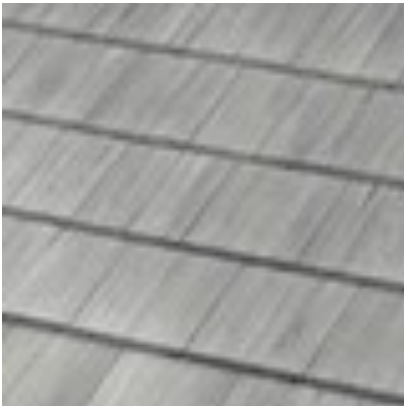
The FRMHOA ARB has met with representatives of the three most popular roofing tile companies that have been in our community. (Boral, Eagle and Crown Roof Tiles 5/1/18) Color selections have been reviewed and this list was compiled and will be the guide for future roof color selections. The boards of the Sub-Association's have approved the lists.

When choosing a roof tile for one of the five (5) communities listed, find your community approved roof tiles and make a selection. If you are using a roofing company that does not use these 3 specific roof tile companies..(Boral, Eagle and Crown), then the company that you use, must match the tile they will use on your roof to one of the approved roof tiles shown. This must be indicated on the Architectural Review Board Application Form. Submit a color photo of the tile and a sample of the tile... if it is different than the approved tiles listed.

APPROVED ROOF COLORS:
for **ARBORWOOD, CHAPEL HILL & 1/2 OF LAKE PARK**

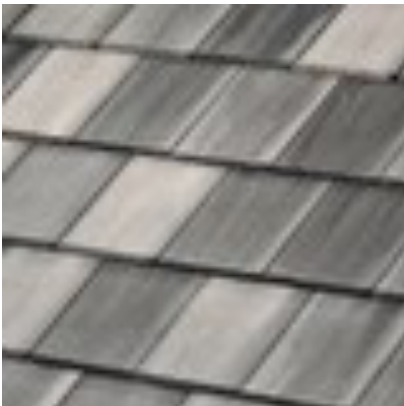
NOTE: The HANSEN, ENTEGRA & MONIERLIFE Roof Tiles previously approved, are not in the newest brochures OR available. They have been discontinued. The APPROVED Roof Tiles shown below are still being made and available..... 5/1/18.

*****PLEASE NOTE: WHITE ROOFS, IN THESE COMMUNITIES, IS NOT AN OPTION and Boosted Barcelona, Madera 900, Saxony 900 Split Slate/Shake, Saxony 900 Shake, and Cedarlite 600 are not approved.**



****Note: Shown on line 5/10/18 (not in brochure)**

BORAL, SAXONY 900 SLATE STYLE:
PREMIUM COLOR: "Sterling"
(#1FACS5759)



****Note: Shown on line 5/10/18 (not in brochure)**

BORAL, SAXONY 900 SLATE STYLE:
PREMIUM COLOR: "Stone Mountain Blend"
(#1FACS5354)



BORAL, PLANTATION FLAT STYLE SMOOTH, STD.
"Natural Gray" No Antique
(#1GACS5159NN)

...Continued on page #37...

...Continued from page 36.....

APPROVED ROOF COLORS: BORAL ROOF TILES:
for **ARBORWOOD, CHAPEL HILL & 1/2 OF LAKE PARK**

NOTE: The HANSEN, ENTEGRA & MONIERLIFE Roof Tiles previously approved, are not in the newest brochures OR available.. They have been discontinued.... The APPROVED Roof Tiles shown below are still being made and available..... 5/1/18.

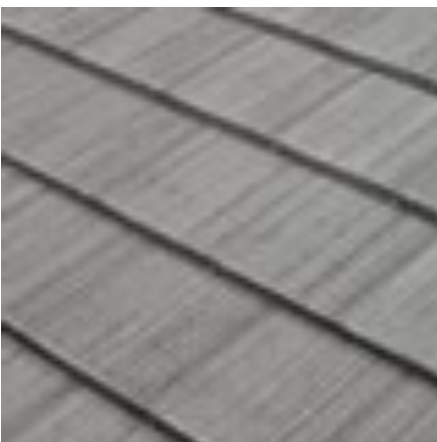
*****PLEASE NOTE: WHITE ROOFS IN THESE COMMUNITIES IS NOT AN OPTION and Boosted Barcelona, Madera 900, Saxony 900 Split Slate/Shake, Saxony 900 Shake, and Cedarlite 600 are not approved.**



BORAL, PLANTATION FLAT STYLE SMOOTH, STD.
“Natural Gray” Black Antique
(#1GACS5159AA)



BORAL, BERMUDA FLAT STYLE SMOOTH, STD.
“Natural Gray” No Antique
(#1GKCS5159NN)



BORAL, BERMUDA FLAT STYLE BROOM SWEEP, STD.
“Natural Gray” No Antique. (Similar to Original)
(#1GLCR5159NN)

BORAL ROOF TILES: ...Continued on page #38..

BORAL ROOF TILES: ...Continued from page #37...

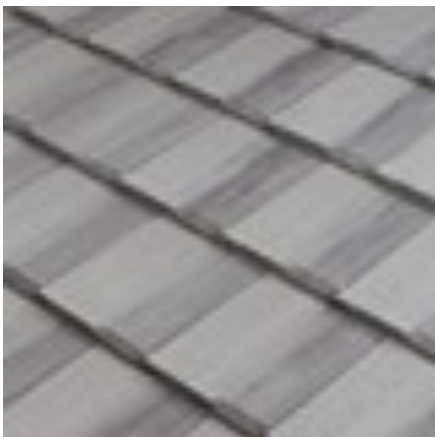
**APPROVED ROOF COLORS: BORAL ROOF TILES:
for ARBORWOOD, CHAPEL HILL & 1/2 OF LAKE PARK**

NOTE: The HANSEN, ENTEGRA & MONIERLIFE Roof Tiles previously approved, are not in the newest brochures OR available.. They have been discontinued.... The APPROVED Roof Tiles shown below are still being made and available..... 5/1/18.

*****PLEASE NOTE: WHITE ROOFS IN THESE COMMUNITIES IS NOT AN OPTION and Boosted Barcelona, Madera 900, Saxony 900 Split Slate/Shake, Saxony 900 Shake, and Cedarlite 600 are not approved.**



**BORAL, PLANTATION FLAT STYLE SLATE LIKE, STD.
“Natural Gray” White Antique
(#1GCCW5159BU)**



**BORAL, PLANTATION FLAT STYLE SLATE LIKE, STD.
“Natural Gray” Black Antique
(#1GCCW5159AA)**

EAGLE ROOF TILES: APPROVED ROOF TILES ...Continued on page #39...

EAGLE ROOF TILES: FOR ARBORWOOD, CHAPEL HILL & 1/2 OF LAKE PARK:
...Continued from page #38....

APPROVED ROOF COLORS: EAGLE ROOF TILES:
for **ARBORWOOD, CHAPEL HILL & 1/2 OF LAKE PARK**

***PLEASE NOTE: WHITE ROOF TILES, IN THESE COMMUNITIES, IS NOT AN OPTION and TAPERED SLATE, TEXTURED SLATE, DOUBLE EAGLE BEL AIR, GOLDEN EAGLE, PONDEROSA AND STAGGERED ARE NOT APPROVED...



EAGLE ROOF TILES: 4209 Arrowhead Gray*

Profile: *(Bel Air) Flat. Smooth or brushed*

Description: *Hues of Gray, Smoke Gray Flashed*

Category: Standard Select



EAGLE ROOF TILES: 4516 ROYAL PALM.

Profile: *(Bel Air) Flat. Smooth or brushed*

Description: *Hues of Gray, White Streaks*

Category: Standard Select

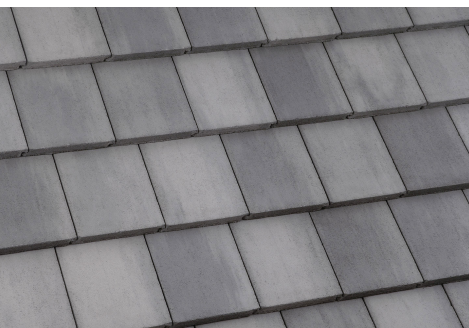


EAGLE ROOF TILES: 4655 Mount Dora Blend

Profile: *(Bel Air) Flat. Smooth or brushed*

Description: *Blend of Gray, White, Black Streaks*

Category: Designer Select



EAGLE ROOF TILES: 4679 Light Gray Range

Profile: *(Bel Air) Flat. Smooth or brushed*

Description: *Range of Light Gray*

Category: Standard Select

CROWN ROOF TILES: ...Continued on page #40....

CROWN ROOF TILES: ...Continued from page #39.....

**APPROVED ROOF COLORS: CROWN ROOF TILES:
for ARBORWOOD, CHAPEL HILL & 1/2 OF LAKE PARK**

*****PLEASE NOTE: WHITE ROOFS IN THESE COMMUNITIES IS NOT AN OPTION and Windsor Shake or Split Shake are NOT APPROVED.**



**CROWN ROOF TILES: Windsor Slate. Flat
“SILVERADO”. Std Color -Thru
#AWSSC012
Smooth or Brush**



**CROWN ROOF TILES: Windsor Slate. Flat
“MOONLIGHT GRAY BLEND”. Std Color -Thru
#AWSCB313**

NOTE: if any of the roof tiles shown is discontinued or are being made by another roof tile company and has another name... Submit the FULL DETAILS AND PHOTO of that tile.. When submitting, indicate to what tile listed, it comes closest to resembling. 10/17/18

FOR MEDITERRANEAN COLOR SCHEME ROOF TILES....

APPROVED ROOF TILES: Continued from page #40...

NOTE: 5/10/18 there are only 3 roof tile companies servicing South Florida: (largest) BORAL Roof Tiles (acquired Monierlife tiles, & Entegra Tiles), (2nd largest) EAGLE Roof tiles and CROWN Roof Tiles. (Hansen is no longer) New brochures have been received by the FRMHOA ARB for updating and review. All selections will reflect the already approved colors for the Sub Association, or as close to that previously approved color, with some new additions.

APPROVED MEDITERRANEAN COLOR SCHEME ROOF TILES: 5/25/18

1/2 LAKE PARK, OAK GROVE & OAK PARK APPROVED ROOF COLORS

BORAL ROOF TILES: Boosted Barcelona is not approved

NOTE: If any of the approved roof colors listed, come in Barcelona or Villa 900, they would be approve for use...NOTE: if any of the roof tiles shown is discontinued or are being made by another roof tile company and has another name... Submit the FULL DETAILS AND PHOTO of that tile.. When submitting, indicate to what tile listed, it comes closest to resembling. 10/17/18

NOTE: If any of the approved roof colors listed, come in Barcelona 900 or Villa 900, they would be approve for use...as of 2/21/19 Boral "Mission Sunset" is now permitted by Oak Park HOA..SEE EAGLE Capistrano, "Terra-cotta Gold"



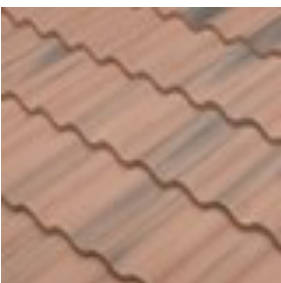
BORAL ROOF TILES: ESTATE STYLE, STD.
"Canyon Clay". No Antique. (#1GOCS6201NN)



BORAL ROOF TILES: ESTATE STYLE, STD.
"Canyon Clay". Black Antique (#1GOCS6201AA)
*** Not approved for OAK GROVE HOA (6/14/18)



BORAL ROOF TILES: ESTATE STYLE, STD,
"Carmel". No Antique. (#1GOCS6202NN)



BORAL ROOF TILES: ESTATE STYLE, STD,
"Carmel". Black Antique (#1GOCS6202AA)
*** Not approved for OAK GROVE HOA (6/14/18)

BORAL ROOF TILES: ...Continued on page #42...

BORAL ROOF TILES ...Continued from page #41...

**APPROVED *MEDITERRANEAN* COLOR SCHEME ROOF TILES: 5/25/18
1/2 LAKE PARK, OAK GROVE & OAK PARK APPROVED ROOF COLORS**

BORAL ROOF TILES: *Boosted Barcelona is not approved*



NOTE: If any of the approved roof colors listed, come in Barcelona 900 or Villa 900, they would be approved for use...as of 2/21/19 Boral "Mission Sunset" is now permitted by Oak Park HOA..SEE EAGLE Capistrano, "Terra-cotta Gold"

**BORAL ROOF TILES: ESTATE STYLE, STD,
"Spanish Clay". Black Antique. (#1GOCS6225AA)**



**BORAL ROOF TILES: ESTATE STYLE, STD
"Spanish Clay". White Antique. (#1GOCS6225BU)**



**BORAL ROOF TILES: ESTATE STYLE, STD,
"Spanish Red". No Antique (#1GOCS7069NN)**



**BORAL ROOF TILES: ESTATE STYLE, STD,
"Tequila Sunset" (Slurry blend). (#1GOSS623163)
*** STILL available in "Estate" roof tiles (4/25/2020)**



**BORAL ROOF TILES: ESTATE STYLE, STD
"Terra Clay". Black Antique (#1GOCS6228AA)
*** Not approved for OAK GROVE HOA (6/14/18)**

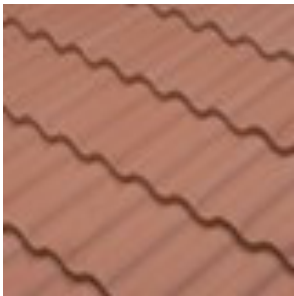
BORAL ROOF TILES ...Continued on page 43.....

BORAL ROOF TILESContinued from page #42:

APPROVED MEDITERRANEAN COLOR SCHEME ROOF TILES: 5/25/18
1/2 LAKE PARK, OAK GROVE & OAK PARK APPROVED ROOF COLORS
BORAL ROOF TILES: Boosted Barcelona is not approved

NOTE: *If any of the approved roof colors listed, come in Barcelona or Villa 900, they would be approve for use...*
NOTE: *if any of the roof tiles shown is discontinued or are being made by another roof tile company and has another name... Submit the FULL DETAILS AND PHOTO of that tile.. When submitting, indicate to what tile listed, it comes closest to resembling. 10/17/18*

NOTE: *If any of the approved roof colors listed, come in Barcelona 900 or Villa 900, they would be approve for use...as of 2/21/19 Boral "Mission Sunset" is now permitted by Oak Park HOA..SEE EAGLE Capistrano, "Terra-cotta Gold"*



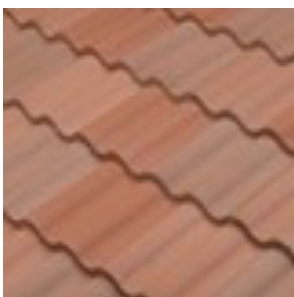
BORAL ROOF TILES: ESTATE STYLE, STD,
"Terra Cotta" No Antique (#1GOCS6230NN)
BORAL ROOF TILES: BARCELONA 900
"Terra Cotta" No Antique (#1HBCS6327)



BORAL ROOF TILES: ESTATE STYLE, STD,
"Terra Cotta" Black Antique (#1GOCS6230AA)
***** Not approved for OAK GROVE HOA (6/14/18)**



BORAL ROOF TILES: ESTATE STYLE BLENDS, STD.:
"Bayside Blend" Black Antique
• (Canyon Clay/Spanish Clay/Tan). (#1GOCS6265)



BORAL ROOF TILES: ESTATE STYLE BLENDS, STD.:
"Monterey Blend" (#1GOCS6298)
• (Canyon Clay/Carmel/Terra Cotta)

BORAL ROOF TILES: ...Continued on page #44.....

BORAL ROOF TILES: Continued from page #43:

**APPROVED MEDITERRANEAN COLOR SCHEME ROOF TILES: 5/25/18
1/2 LAKE PARK, OAK GROVE & OAK PARK APPROVED ROOF COLORS**

BORAL ROOF TILES: Boosted Barcelona is not approved

NOTE: *If any of the approved roof colors listed, come in Barcelona 900 or Villa 900, they would be approved for use...as of 2/21/19 Boral "Mission Sunset" is now permitted by Oak Park HOA..SEE EAGLE Capistrano, "Terra-cotta Gold"*

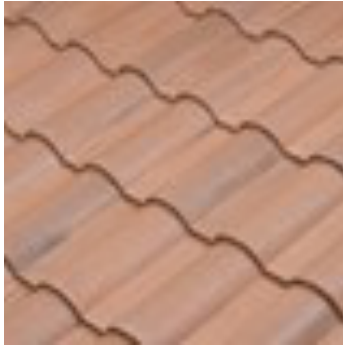


BORAL ROOF TILES: GALENA STYLE, STD.: (may be discontinued)

"Canyon Clay" Black Antique (#1GQCS6201AA)

BORAL ROOF TILES: BARCELONA 900

"Canyon Clay" (#1HBCS6325)



BORAL ROOF TILES: GALENA STYLE, STD.: (may be discontinued)

"Carmel" Black Antique (#1GQCS6202AA)

BORAL ROOF TILES: BARCELONA 900

"Carmel" (#1HBCS6326)



BORAL ROOF TILES: GALENA STYLE, SPEC.: (may be discontinued)

"Terra Cotta" No Antique (#1GQCS6230NN)



BORAL ROOF TILES: GALENA STYLE, SPEC.: (may be discontinued)

"Terra Cotta" Black Antique (#1GQCS6230NN)

BORAL ROOF TILES: ...Continued on page #45.....

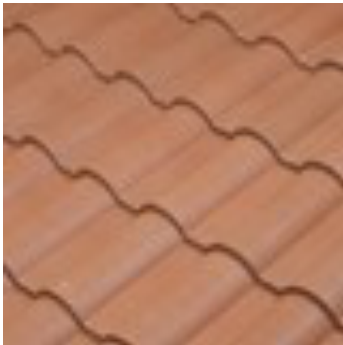
BORAL ROOF TILES: ...Continued from page #44:

APPROVED **MEDITERRANEAN** COLOR SCHEME ROOF TILES: 5/25/18

1/2 LAKE PARK, OAK GROVE & OAK PARK APPROVED ROOF COLORS

BORAL ROOF TILES: Boosted Barcelona is **not approved**

NOTE: If any of the approved roof colors listed, come in Barcelona 900 or Villa 900, they would be approve for use...as of 2/21/19 Boral "Mission Sunset" is now permitted by Oak Park HOA..SEE EAGLE Capistrano, "Terra-cotta Gold"



BORAL ROOF TILES: GALENA STYLE, STD.: (may be discontinued)
"Canyon Clay" Black Antique. (#1GQCS6201AA)



BORAL ROOF TILES: GALENA STYLE, SPEC.: (may be discontinued)
"Spanish Clay". Black Antique. (#1GQCS6225AA)



BORAL ROOF TILES: GALENA STYLE, SPEC.: (may be discontinued)
"Spanish Red". No Antique (#1GQCS7070NN)
BORAL ROOF TILES: BARCELONA 900
"Spanish Red". No Antique (#1HBCS7086)



BORAL ROOF TILES: GALENA STYLE, BLENDS, STD.:
(may be discontinued) See Boral Barcelona 900 "Mission Sunset" 2/21/19
"Bayside Blend" Black Antique
(Canyon Clay/Spanish Clay/Tan). (#1GQCS6265)

CROWN ROOF TILES:...Continued on page #46.....

APPROVED ROOF TILES: ...Continued from page #45:

APPROVED *MEDITERRANEAN* COLOR SCHEME ROOF TILES: 5/25/18

1/2 LAKE PARK, OAK GROVE & OAK PARK APPROVED ROOF COLORS

NOTE: 5/10/18 there are only 3 roof tile companies servicing South Florida: (largest) BORAL Roof Tiles (acquired Monierlife tiles, & Entegra Tiles), (2nd largest) EAGLE Roof tiles and CROWN Roof Tiles. (Hansen is no longer) New brochures have been received by the FRMHOA ARB for updating and review. All selections will reflect the already approved colors for the Sub Association, or as close to that previously approved color, with some new additions.

CROWN ROOF TILES:



**CROWN ROOF TILES: SANIBEL STYLE
“MISSION TERRA COTTA”. STD COLOR THRU
#ASASC001**



**CROWN ROOF TILES: SANIBEL STYLE
“BURNT TERRA COTTA”. STD COLOR THRU
#ASASC002**



**CROWN ROOF TILES: SANIBEL STYLE
“SUNBURST”. STD COLOR THRU
#ASASC005**



**CROWN ROOF TILES: SANIBEL STYLE
“BOUGAINVILLEA” STD COLOR THRU
#ASASC007**

CROWN ROOF TILES: Continued on page #47...

CROWN ROOF TILES: ...Continued from page #46:

**APPROVED *MEDITERRANEAN* COLOR SCHEME ROOF TILES: 5/1/18
1/2 LAKE PARK, OAK GROVE & OAK PARK APPROVED ROOF COLORS**

CROWN ROOF TILES:



**CROWN ROOF TILES: SANIBEL STYLE
“SUNSET”. SLURRY
#ASASL201**



**CROWN ROOF TILES: SANIBEL STYLE
“NAVAJO BLEND”. CUSTOM BLENDS
#ASACB303**



**CROWN ROOF TILES: SANIBEL STYLE
“NUEVA EPANA BLEND”. SLURRY
#ASACB305**

CROWN ROOF TILES: ...Continued on page #48....

CROWN ROOF TILES ...Continued from page #47....

APPROVED *MEDITERRANEAN* COLOR SCHEME ROOF TILES: 5/1/18
1/2 LAKE PARK, OAK GROVE & OAK PARK APPROVED ROOF COLORS



CROWN ROOF TILES: TUSCANY STYLE
“MISSION TERRA COTTA”. STD COLOR -THRU
#ATSSC001



CROWN ROOF TILES: TUSCANY STYLE
“BURNT TERRA COTTA”. STD COLOR -THRU
#ATSSC002



CROWN ROOF TILES: TUSCANY STYLE
“BOUGAINVILLEA” STD COLOR THRU
#ASASC007

APPROVED ROOF TILES: ...Continued from page #48:

**APPROVED MEDITERRANEAN COLOR SCHEME ROOF TILES: 5/1/18
1/2 LAKE PARK, OAK GROVE & OAK PARK APPROVED ROOF COLORS**

NOTE: 5/10/18 there are only 3 roof tile companies servicing South Florida: (largest) BORAL Roof Tiles (acquired Monierlife tiles, & Entegra Tiles), (2nd largest) EAGLE Roof tiles and CROWN Roof Tiles. (Hansen is no longer) New brochures have been received by the FRMHOA ARB for updating and review. All selections will reflect the already approved colors for the Sub Association, or as close to that previously approved color, with some new additions.



EAGLE ROOF TILES: *Signature Blends of Blends and Boosted Capistrano Tiles are **not approved.***

EAGLE, MALIBU STYLE, STD. :

“2664 Terracambra Range”

Profile: Malibu

Description: Hues of Terracotta, Yellow Streaks



EAGLE, MALIBU STYLE, STD. :

“ 2118 Terracotta Gold*”

Profile: Malibu

Description: *Hues of Terracotta, Gold Flashed*

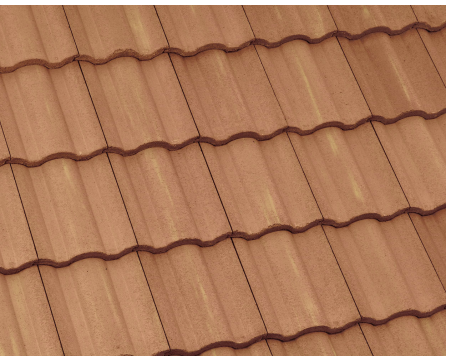


EAGLE, MALIBU STYLE, STD. :

“2118 Juno Blend”

Profile: Malibu

Description: *blend of Terra-cotta, brown, red, Light Gray*



EAGLE, MALIBU STYLE, STD. :

“2555 Alhambra”

Profile: Malibu

Description: hues of Terra-cotta with yellow streaks

EAGLE ROOF TILES: ...Continued on page #50...

EAGLE ROOF TILES: APPROVED ROOF TILES ...Continued from page #49:

APPROVED **MEDITERRANEAN** COLOR SCHEME ROOF TILES: 5/1/18
1/2 LAKE PARK, OAK GROVE & OAK PARK APPROVED ROOF COLORS

EAGLE ROOF TILES: *Signature Blends of Blends and Boosted Capistrano Tiles are not approved.*



EAGLE, MALIBU, STD. :

“2581 Arcadia Canyon Brown”

Profile: Malibu

Description: *Hues of Dark Brown, Black Streaks*

*****NOTE: APPROVED FOR OAK PARK ONLY**



EAGLE, CAPISTRANO “S” STYLE, STD. :

“3555 Alhambra”

Profile: Capistrano

Description: *hues of Terra-cotta with yellow streaks*



EAGLE, CAPISTRANO “S” STYLE, STD. :

“3118 Terracotta Gold”

Profile: *Capistrano*

Description: *Hues of Terracotta Gold Flashed*

NOTE: 2/21/19.. BORAL Barcelona 900... “Mission Gold” 1HBSS6842 is similar and Approved for Oak Park.



EAGLE, CAPISTRANO “S” STYLE, STD. :

“3664 Terracambra Range”

Profile: Capistrano

Description: *Range of Terracotta*